

CAUTION: CONTACT TEXAS 811 AND LOCAL UTILITY PROVIDERS TO LOCATE EXISTING UTILITIES PRIOR TO CONSTRUCTION.  
CONTACT GESSNER ENGINEERING IF CONFLICTS OCCUR.



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LAND SURVEYING | STRUCTURAL

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401 W 26TH STREET  
BRYAN, TEXAS 77803  
1-877-GESSNER (437-7637)  
www.gessnerengineering.com  
FIRM REGISTRATION NUMBERS:  
TBPE F-7451, TBPLS F-10193910

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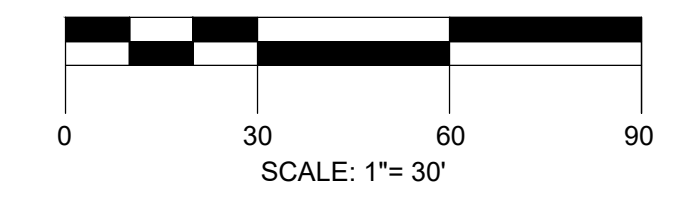
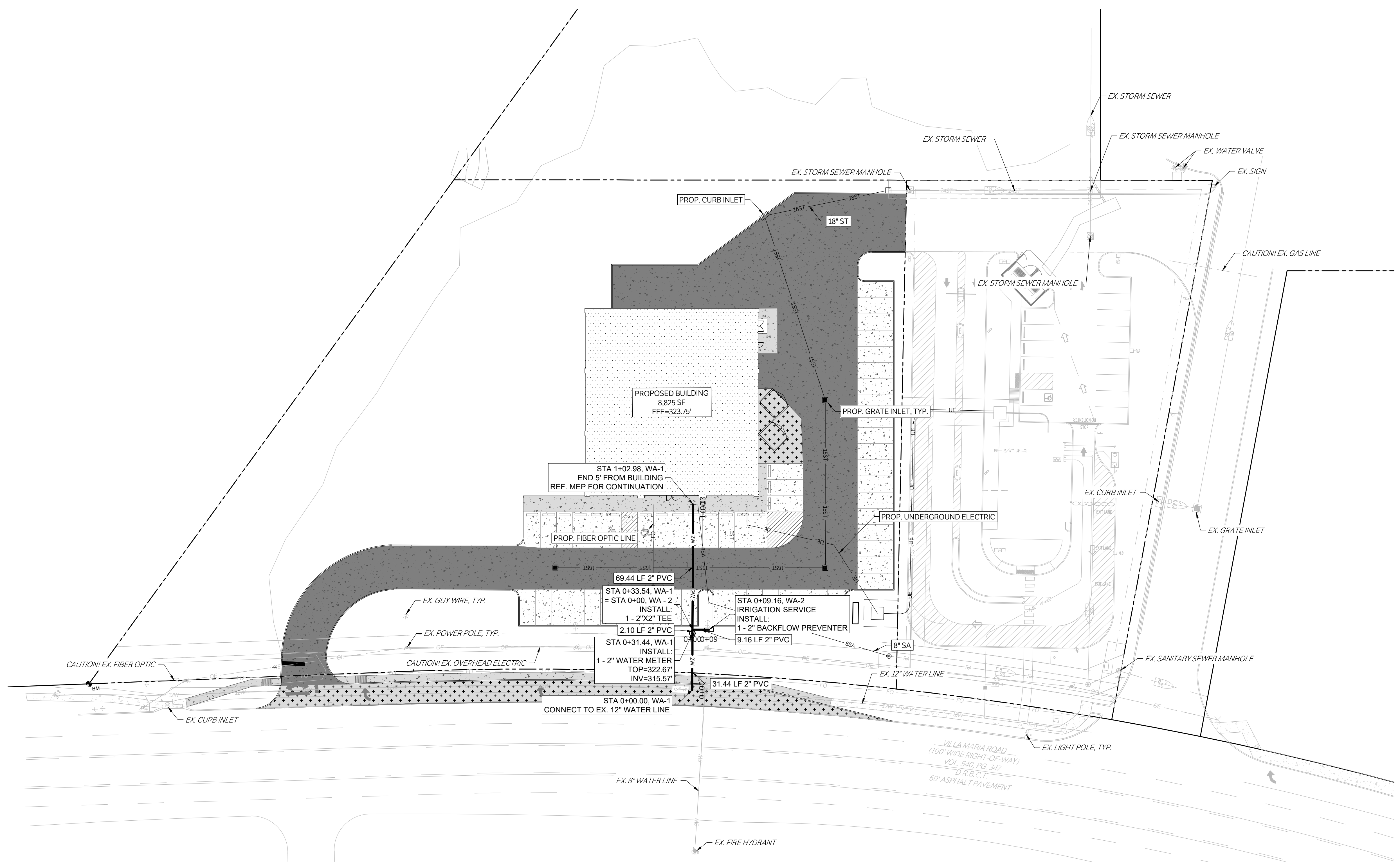
RETAIL CENTER  
1642 W. VILLA MARIA RD.  
BRYAN, TX. 77807

WATER PLAN & PROFILES

ISSUE DATE: 02-08-2023  
DRAWN BY: MK  
CHECKED BY: MK  
PROJECT #: 21-1472

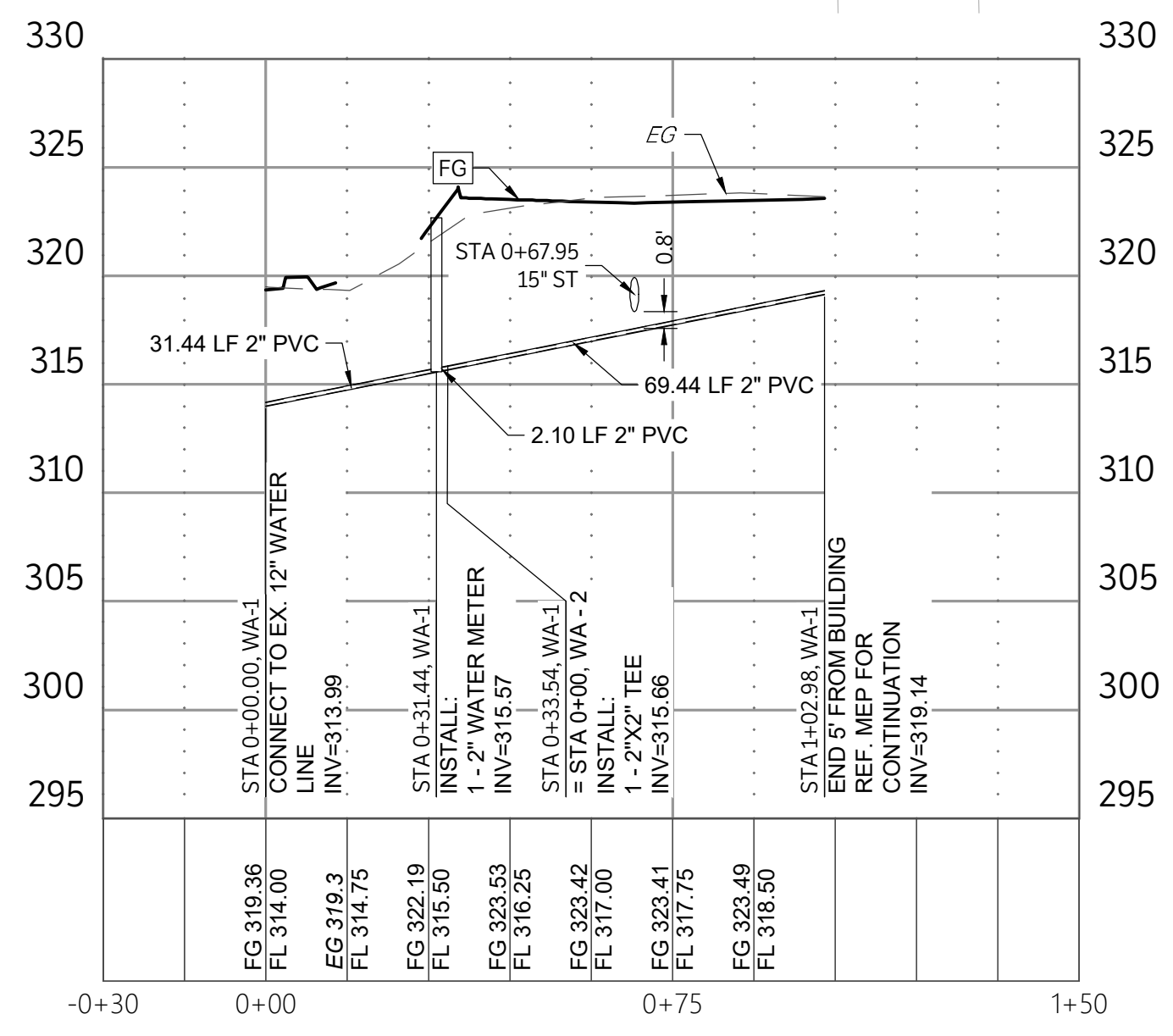
REVISIONS	
REV.	DESCRIPTION

C1000



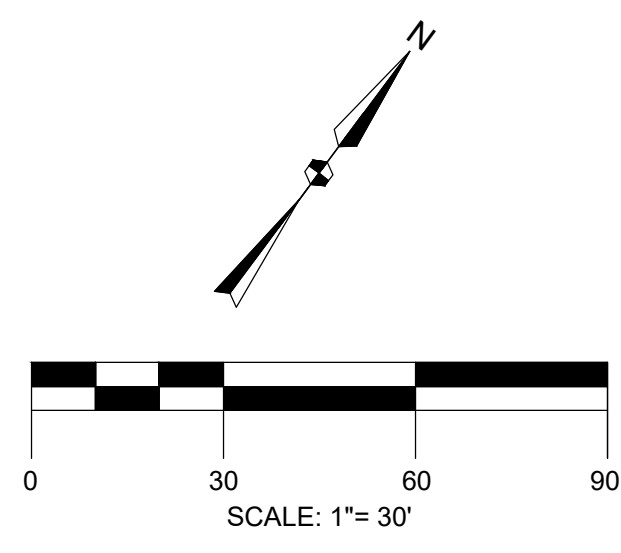
PROJECT BENCHMARK: BM  
5/8\"/>

LEGEND	
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[Pattern]	PROPOSED 6\"/>
[Pattern]	PROPOSED 7\"/>
[Pattern]	PROPOSED BUILDING
[Pattern]	PROPOSED STRUCTURAL CONCRETE, REF. STRUCTURAL
[Pattern]	EXISTING 4\"/>
[Line]	EXISTING PAVEMENT EDGE
[Line]	PROPERTY LINE
[Line]	EXISTING EASEMENT
[Line]	PROPOSED EASEMENT
[Line]	EXISTING CONTOURS
[Line]	PROPOSED CONTOURS
[Line]	EX.   PROP. STORM LINE
[Line]	EX.   PROP. WATER LINE
[Line]	EX.   PROP. SANITARY SEWER LINE
[Line]	EXISTING THERMALS
[Line]	PROPOSED THERMALS
[Line]	EX.   PROP. GAS LINE
[Line]	EX.   PROP. DATA/TELECOM
[Line]	EX.   PROP. UNDERGROUND ELECTRIC
[Line]	EX.   PROP. FIBER OPTIC
[Line]	EX.   PROP. OVERHEAD ELECTRIC
[Symbol]	EX.   PROP. FIRE HYDRANT
[Symbol]	EX.   PROP. WATER METER
[Symbol]	EX.   PROP. GATE VALVE
[Symbol]	EX. IRRIGATION CONTROL VALVE
[Symbol]	PROP. FIRE DEPARTMENT CONNECTION
[Symbol]	PROP. POST INDICATOR VALVE
[Line]	PROP. HOSE LAY
[Symbol]	EX.   PROP. SANITARY SEWER MANHOLE
[Symbol]	EX.   PROP. SANITARY SEWER CLEANOUT
[Symbol]	EX. STORM SEWER MANHOLE
[Symbol]	PROP. STORM SEWER CURB INLET
[Symbol]	EX.   PROP. LIGHT POLE
[Symbol]	PROPOSED PUBLIC ACCESS EASEMENT
[Symbol]	PROPOSED UTILITY EASEMENT



WA-1  
SCALE: 1\"/>

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PROJECT BENCHMARK: BM  
5/8" REBAR W/ CAP STAMPED "KERR RPLS 4502" ELEVATION = 311.08'



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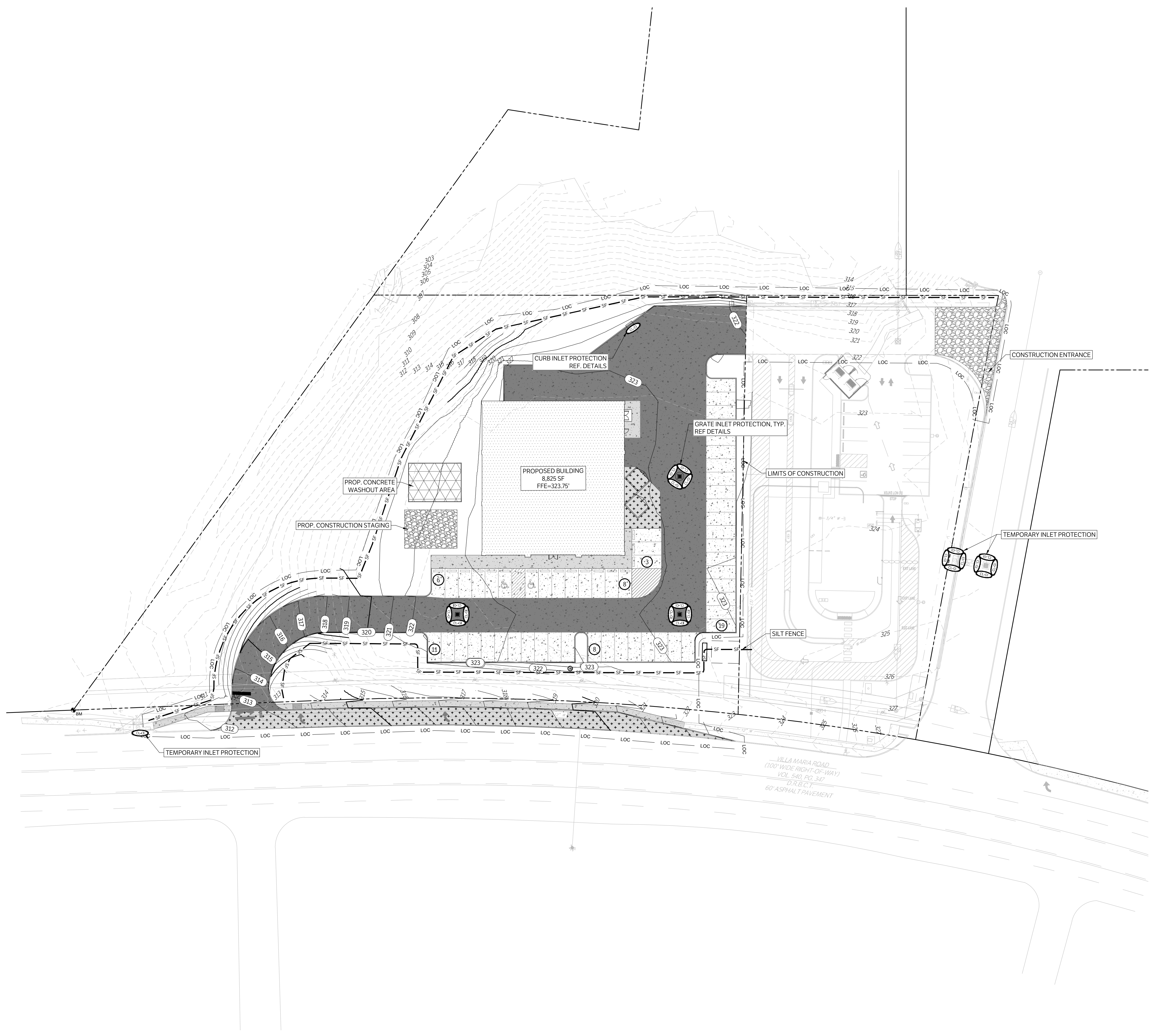
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1642 W. VILLA MARIA RD.  
BRYAN, TX. 77807

EROSION CONTROL PLAN

ISSUE DATE: 02-08-2023  
DRAWN BY: MK  
CHECKED BY: MK  
PROJECT #: 21-1472

REVISIONS	
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REV.	DATE DESCRIPTION

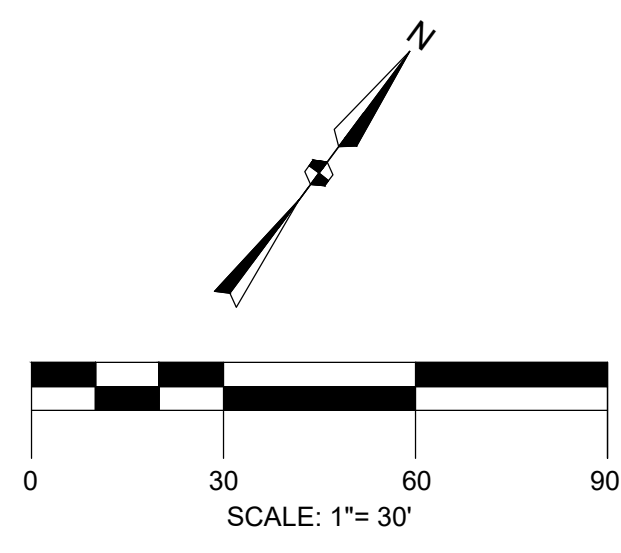
C1100



LEGEND	
	CONSTRUCTION ENTRANCE, INSTALLED PER DETAIL
	PROPERTY LINE
	EXISTING CONTOURS
	PROPOSED CONTOURS
	EXISTING FLOW PATH
	PROPOSED FLOW PATH
	SILT FENCE, INSTALLED PER DETAIL
	PROPOSED DAM EROSION CONTROL, LOG-18"
	PROPOSED ROCK FILTER DAM TYPE 3

VILLA MARIA ROAD  
(100' WIDE RIGHT-OF-WAY)  
VOL. 540, PG. 347  
D.R.B.C.T.  
60' ASPHALT PAVEMENT

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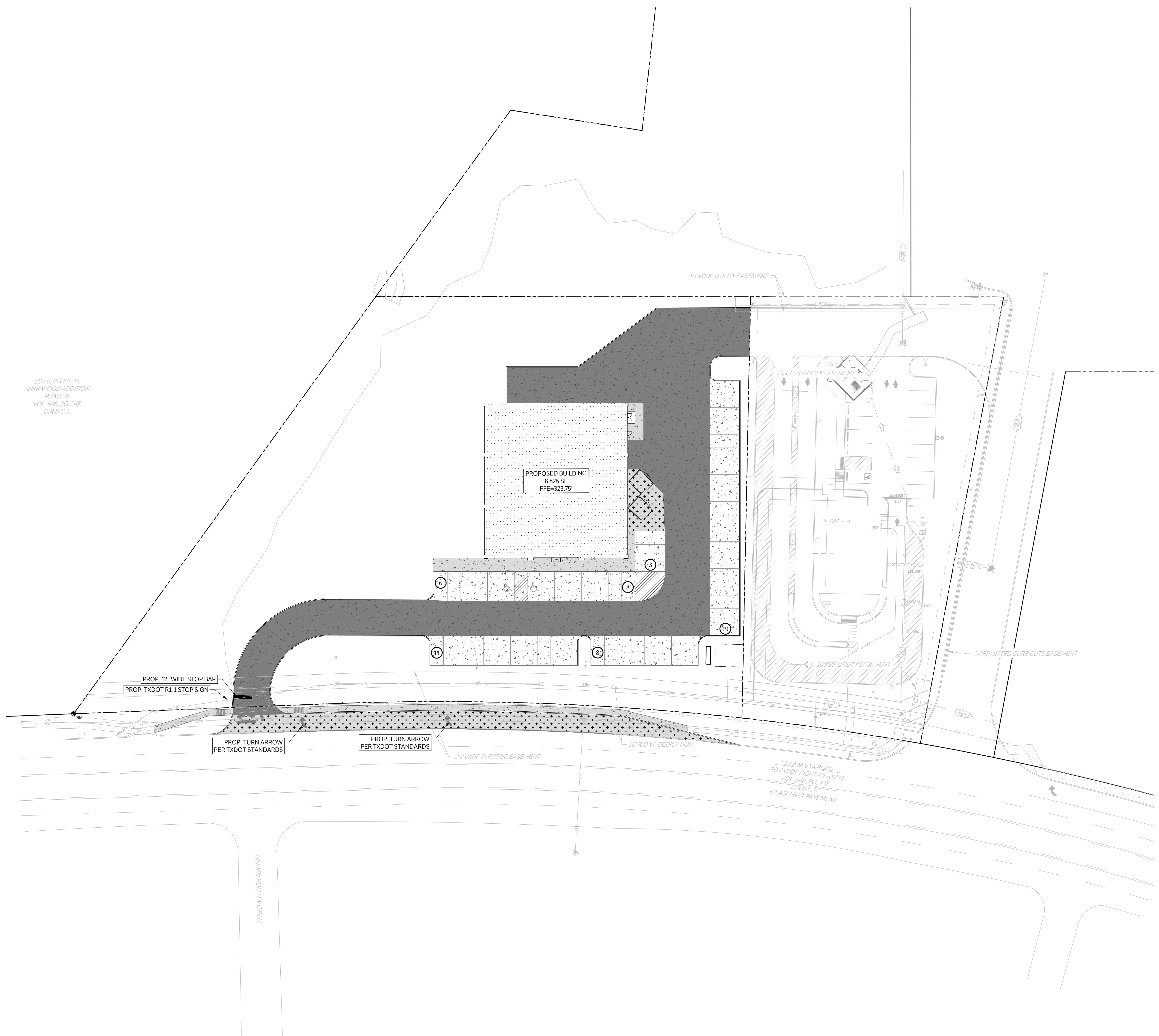
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PRELIMINARY  
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LOT 5, BLOCK 15  
SHIREWOOD ADDITION  
PHASE III  
VOL. 648, PG. 245  
O.R.B.C.T.



LEGEND	
	PROPOSED 4" CONCRETE SIDEWALK
	PROPOSED 6" CONCRETE PAVEMENT
	PROPOSED 7" CONCRETE PAVEMENT
	PROPOSED BUILDING
	PROPOSED STRUCTURAL CONCRETE, REF. STRUCTURAL
	EXISTING 4" CONCRETE SIDEWALK
	EXISTING PAVEMENT EDGE
	PROPERTY LINE
	EXISTING EASEMENT
	PROPOSED EASEMENT
	EXISTING CONTOURS
	PROPOSED CONTOURS
	EX.   PROP. STORM LINE
	EX.   PROP. WATER LINE
	EX.   PROP. SANITARY SEWER LINE
	EXISTING THERMALS
	PROPOSED THERMALS
	EX.   PROP. GAS LINE
	EX.   PROP. DATA/TELECOM
	EX.   PROP. UNDERGROUND ELECTRIC
	EX.   PROP. OVERHEAD ELECTRIC
	EX.   PROP. FIRE HYDRANT
	EX.   PROP. WATER METER
	EX.   PROP. GATE VALVE
	EX. IRRIGATION CONTROL VALVE
	PROP. FIRE DEPARTMENT CONNECTION
	PROP. POST INDICATOR VALVE
	PROP. HOSE LAY
	EX.   PROP. SANITARY SEWER MANHOLE
	EX.   PROP. SANITARY SEWER CLEANOUT
	EX. STORM SEWER MANHOLE
	PROP. STORM SEWER CURB INLET
	EX.   PROP. LIGHT POLE
	PROPOSED PUBLIC ACCESS EASEMENT
	PROPOSED UTILITY EASEMENT

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SIGNAGE & STRIPING PLAN

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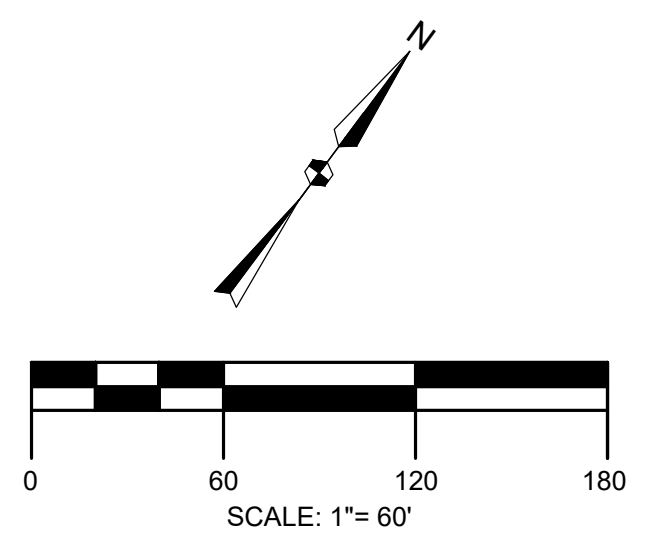
REVISIONS	
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REV.	DATE DESCRIPTION

C1200

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ELEVATION = 311.08'



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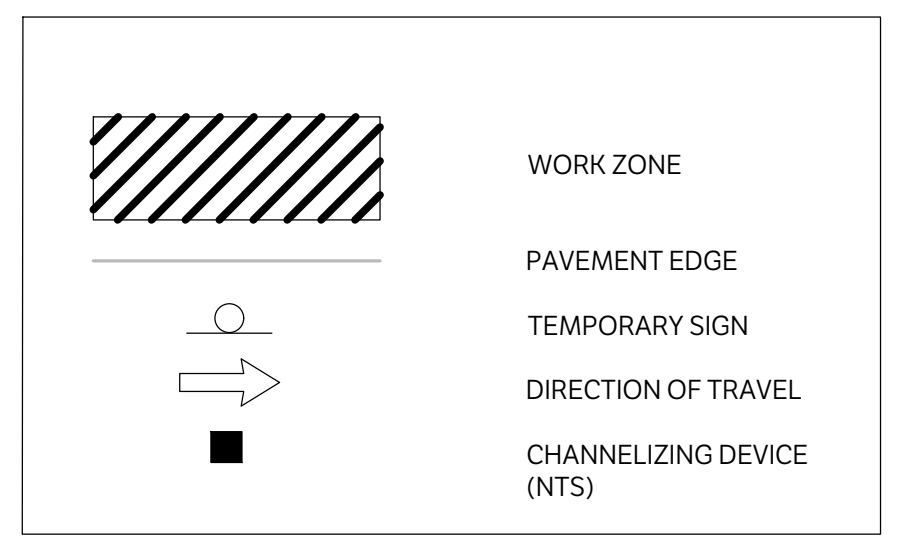
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TRAFFIC CONTROL PLAN  
ISSUE DATE: 02-08-2023  
DRAWN BY: MK  
CHECKED BY: MK  
PROJECT #: 21-1472

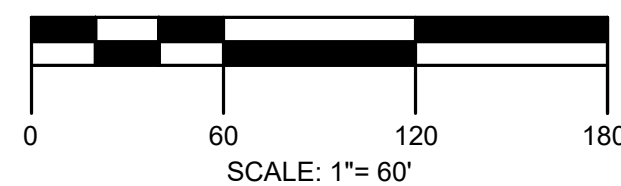
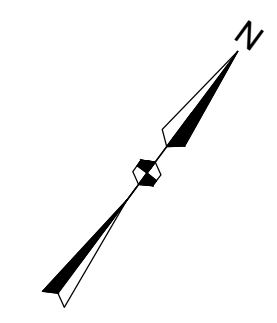
REVISIONS	
REV.	DESCRIPTION

**C1300**





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TRAFFIC CONTROL PLAN

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REVISIONS	
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△	
REV.	DATE DESCRIPTION

**C1301**

	WORK ZONE
	PAVEMENT EDGE
	TEMPORARY SIGN
	DIRECTION OF TRAVEL
	CHANNELIZING DEVICE (NTS)

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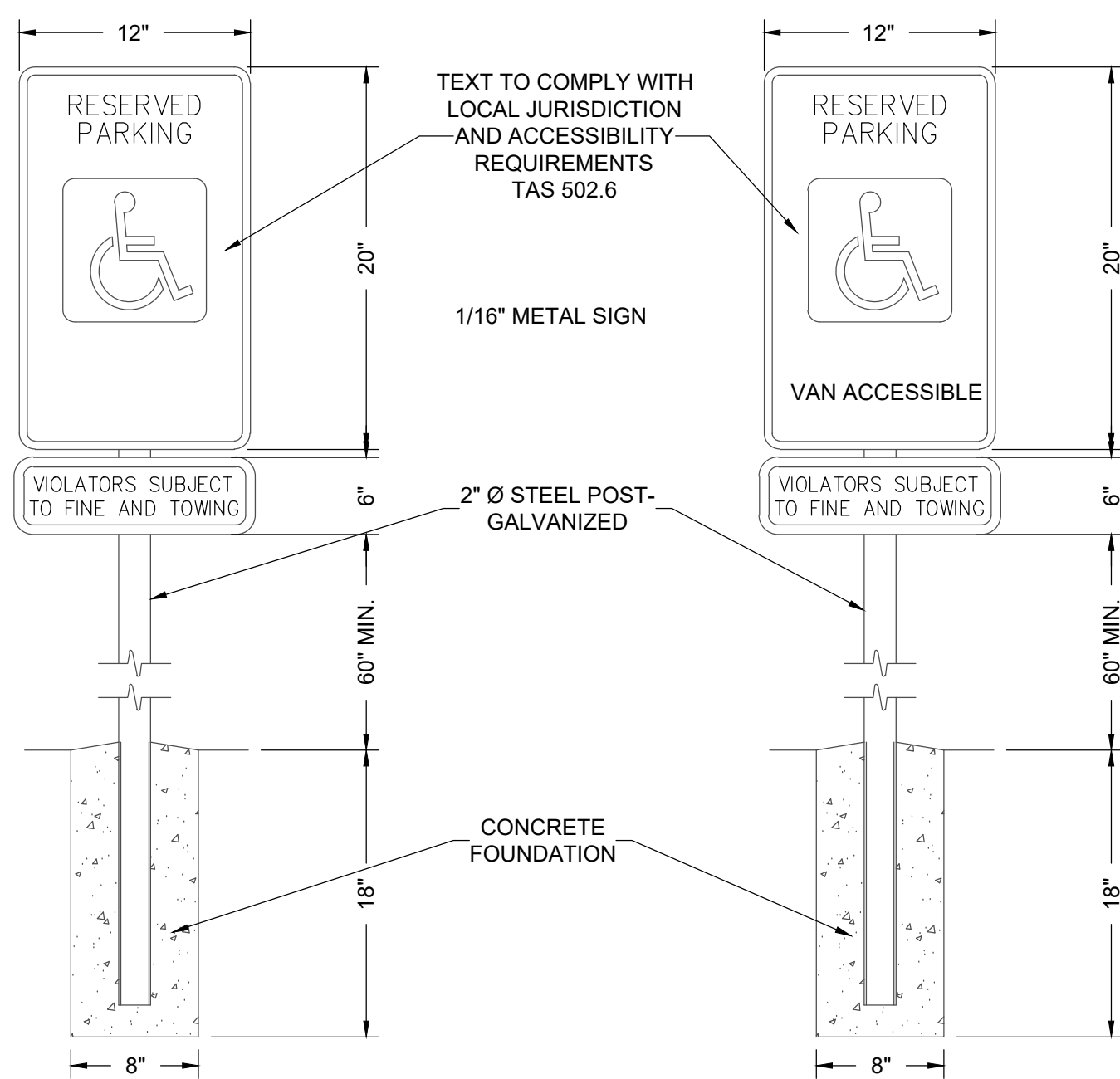
DETAILS

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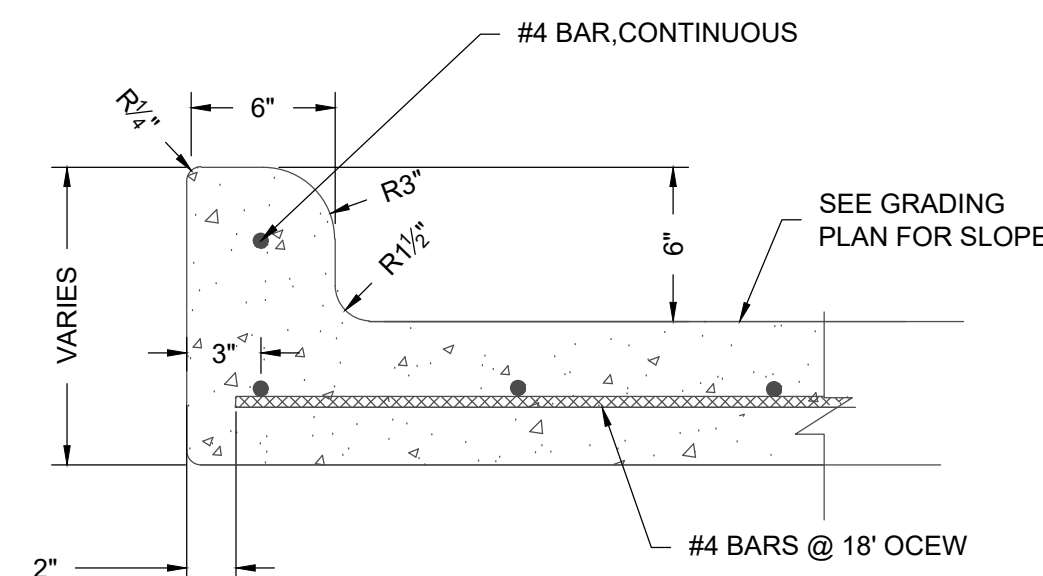
REV.	DATE	DESCRIPTION

C1400

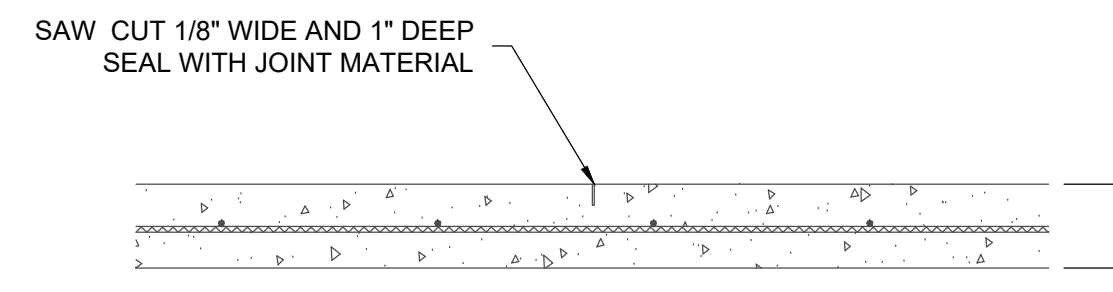
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ADA PARKING SIGN  
NTS

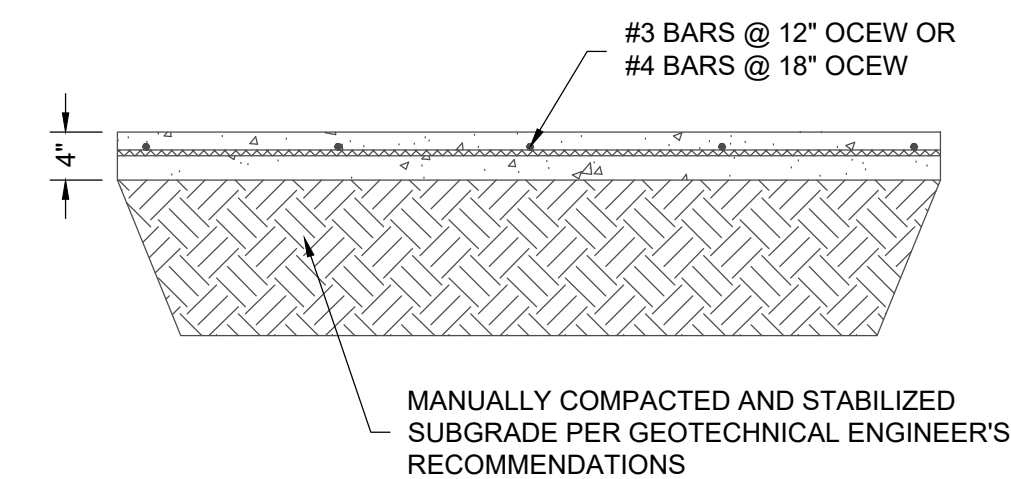


INTEGRAL CURB & GUTTER  
NTS



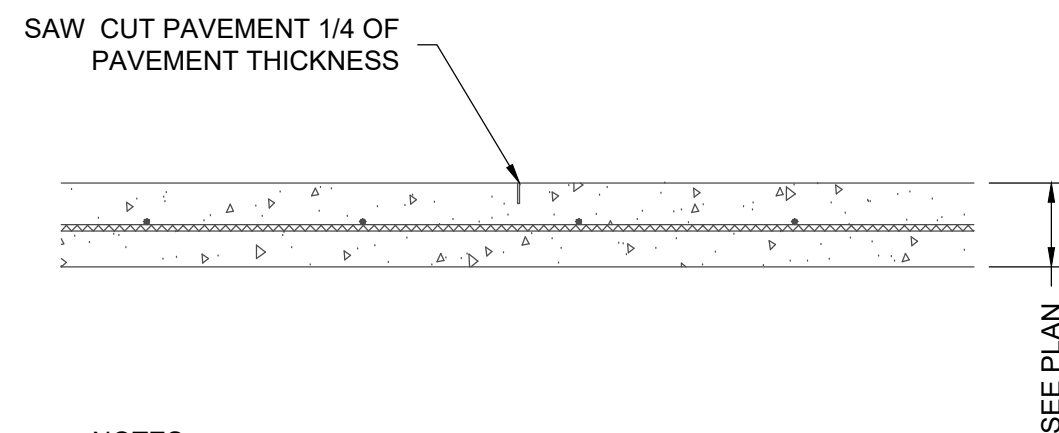
NOTE:  
SIDEWALK JOINT SPACING PER LANDSCAPE ARCHITECT OR JOINT PLAN. IF NOT SPECIFIED, SPACING SHALL BE EQUAL TO SIDEWALK WIDTH WITH A MAXIMUM SPACING OF 8-FOOT.

SIDEWALK CONTRACTION JOINT  
NTS



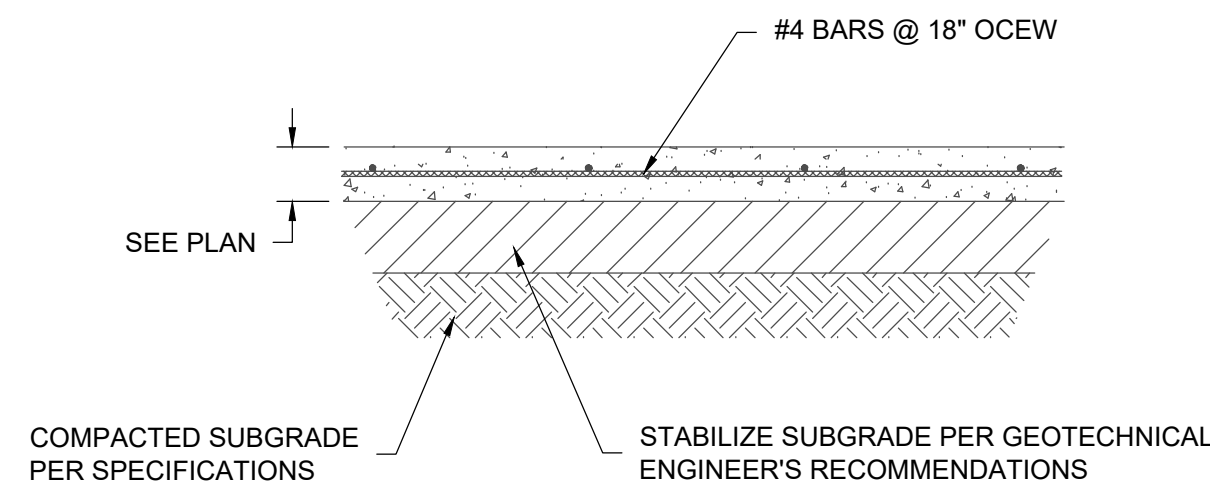
NOTES:  
1. DEPTH OF STABILIZATION SHALL BE PER NOTES AND SPECIFICATIONS.  
2. SUBGRADE STABILIZATION SHALL BE PER GEOTECHNICAL RECOMMENDATIONS AND LIME/CEMENT SERIES BASED ON ACTUAL SUBGRADE CONDITIONS.  
3. SAW CUT OPERATIONS SHALL BEGIN AS SOON AS POSSIBLE AFTER CONCRETE PLACEMENT.  
4. SEAL ALL EXPANSION JOINTS WITH SEAL CAP AND CONTROL JOINTS WITH SELF LEVELING JOINT SEALANT MATERIAL PER SPECIFICATIONS. USE SELF LEVELING JOINT SEALANT ADJACENT TO EXISTING PAVEMENT.

SIDEWALK SECTION  
NTS



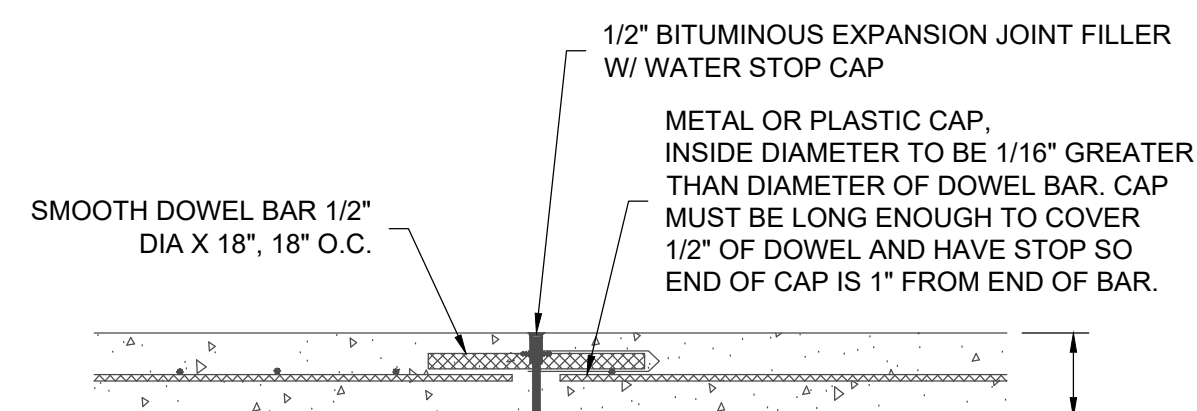
NOTES:  
1. SEE PLANS FOR JOINT SPACING, COMPRESSIVE STRENGTH, PAVEMENT THICKNESS, AND REINFORCING.  
2. SAW CUT OPERATIONS SHALL BEGIN AS SOON AS POSSIBLE AFTER CONCRETE PLACEMENT.  
3. SEAL ALL JOINTS WITH SELF LEVELING JOINT SEALANT MATERIAL PER SPECIFICATIONS.

CONTROL JOINT  
NTS



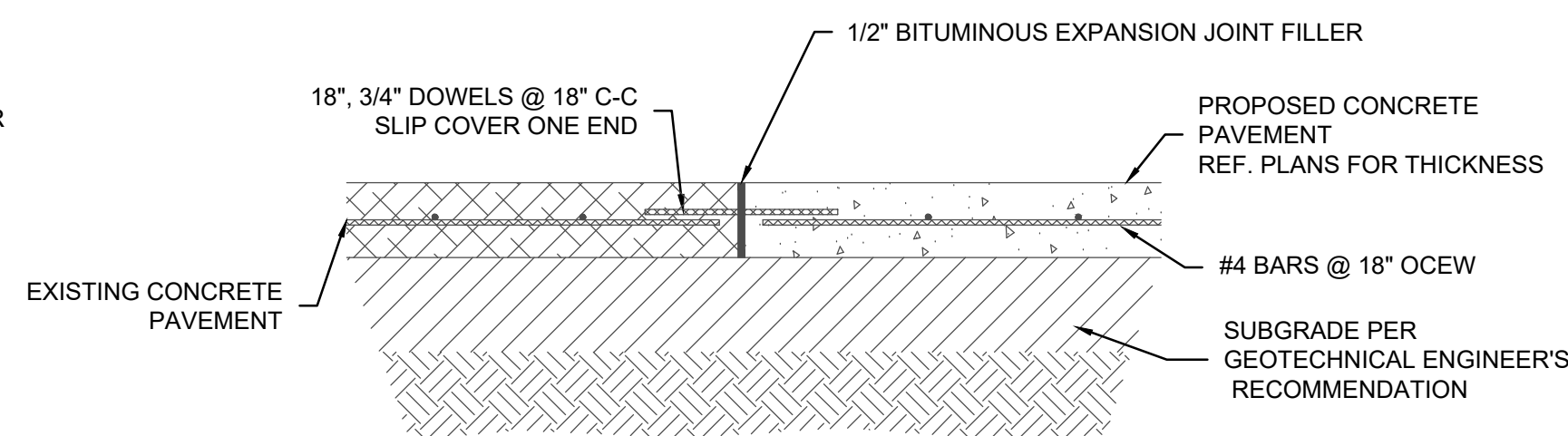
NOTES:  
1. SEE PLAN FOR JOINT SPACING, COMPRESSIVE STRENGTH, PAVEMENT THICKNESS, AND REINFORCING.  
2. DEPTH OF STABILIZATION SHALL BE A MINIMUM OF 6 INCHES OR BASED ON GEOTECHNICAL RECOMMENDATIONS SUBGRADE CONDITIONS.  
3. SUBGRADE STABILIZATION SHALL BE PER GEOTECHNICAL RECOMMENDATIONS AND LIME/CEMENT SERIES BASED ON ACTUAL SUBGRADE CONDITIONS.

CONCRETE PAVEMENT  
NTS



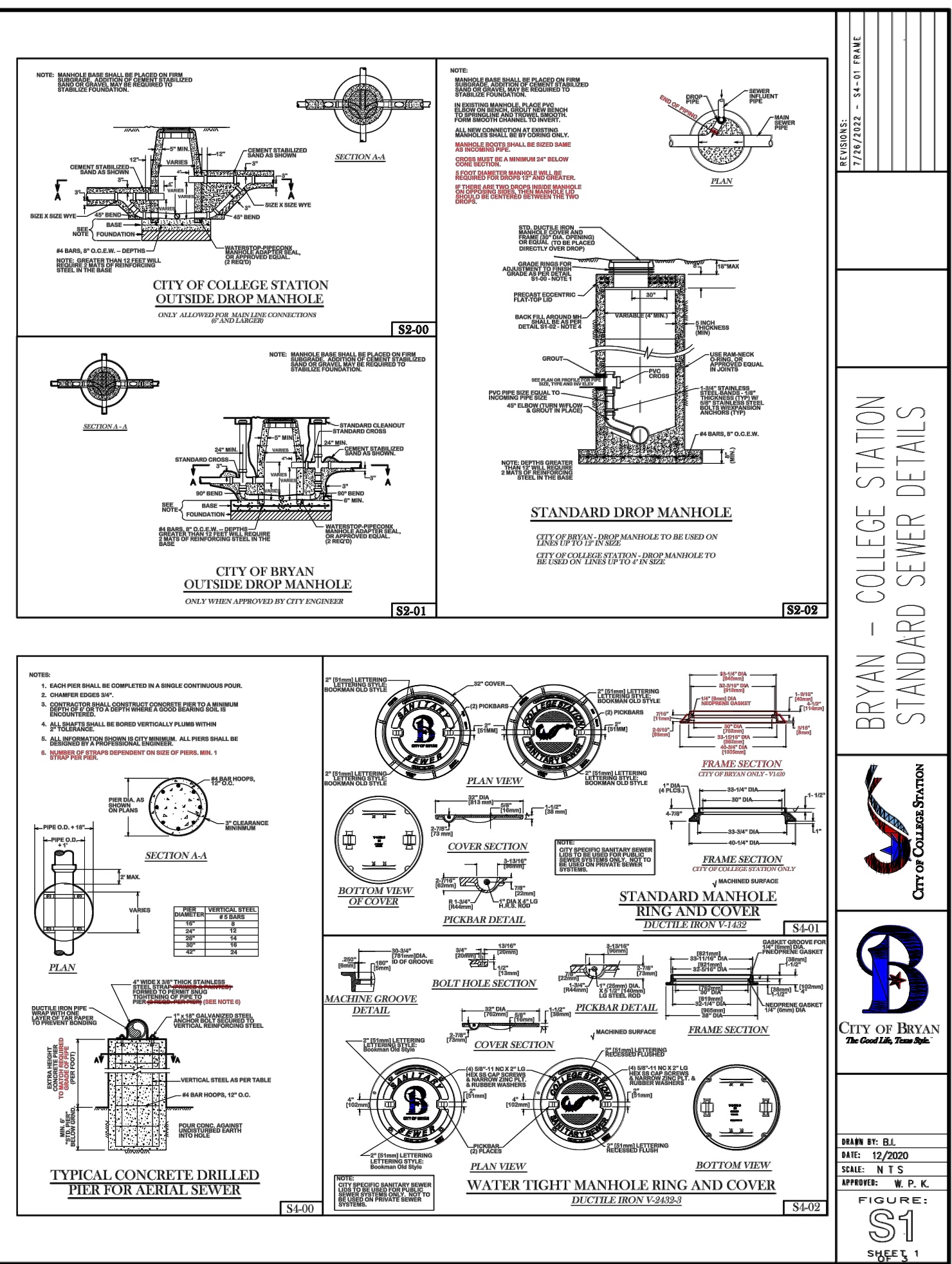
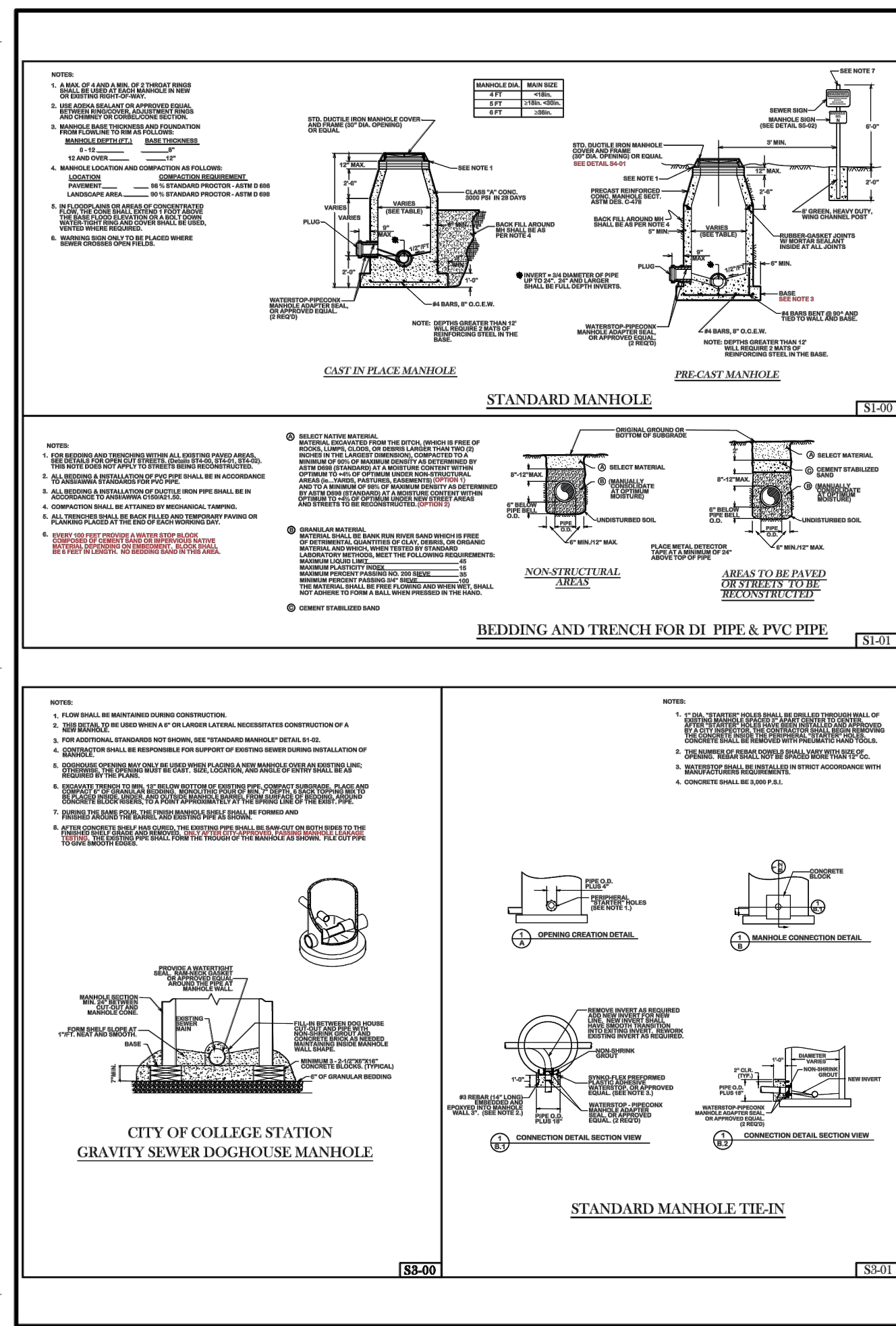
NOTE:  
EXPANSION JOINTS SHALL BE INSTALLED AS SHOWN ON PLANS

EXPANSION JOINT  
NTS



NOTE:  
1. SEE PLANS FOR THICKNESS OF EXISTING AND PROPOSED CONCRETE PAVEMENT  
2. CONCRETE SHALL HAVE A MINIMUM 28-DAY COMPRESSIVE STRENGTH OF 4,000 PSI

EXISTING CONCRETE TIE-IN  
NTS



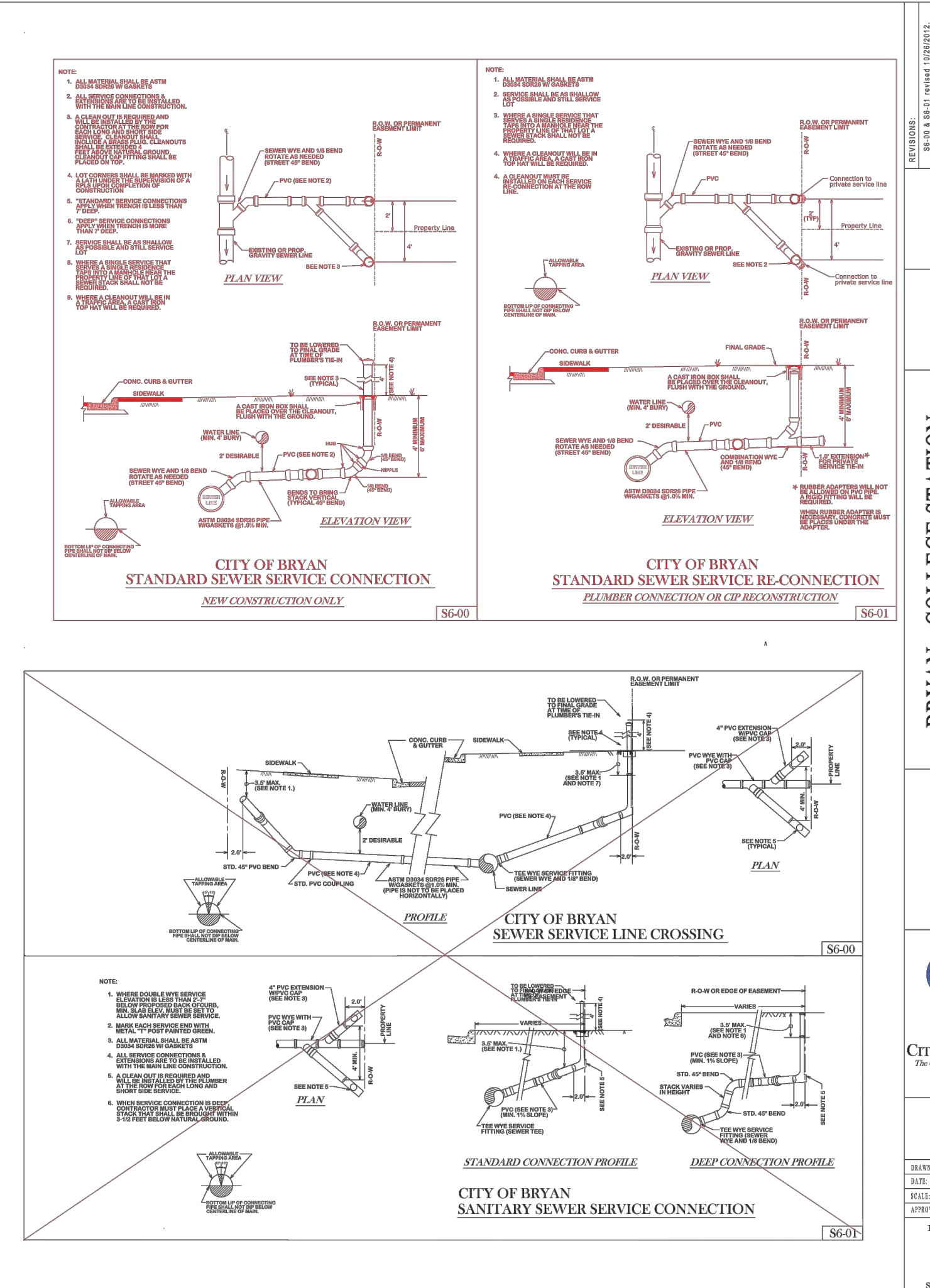
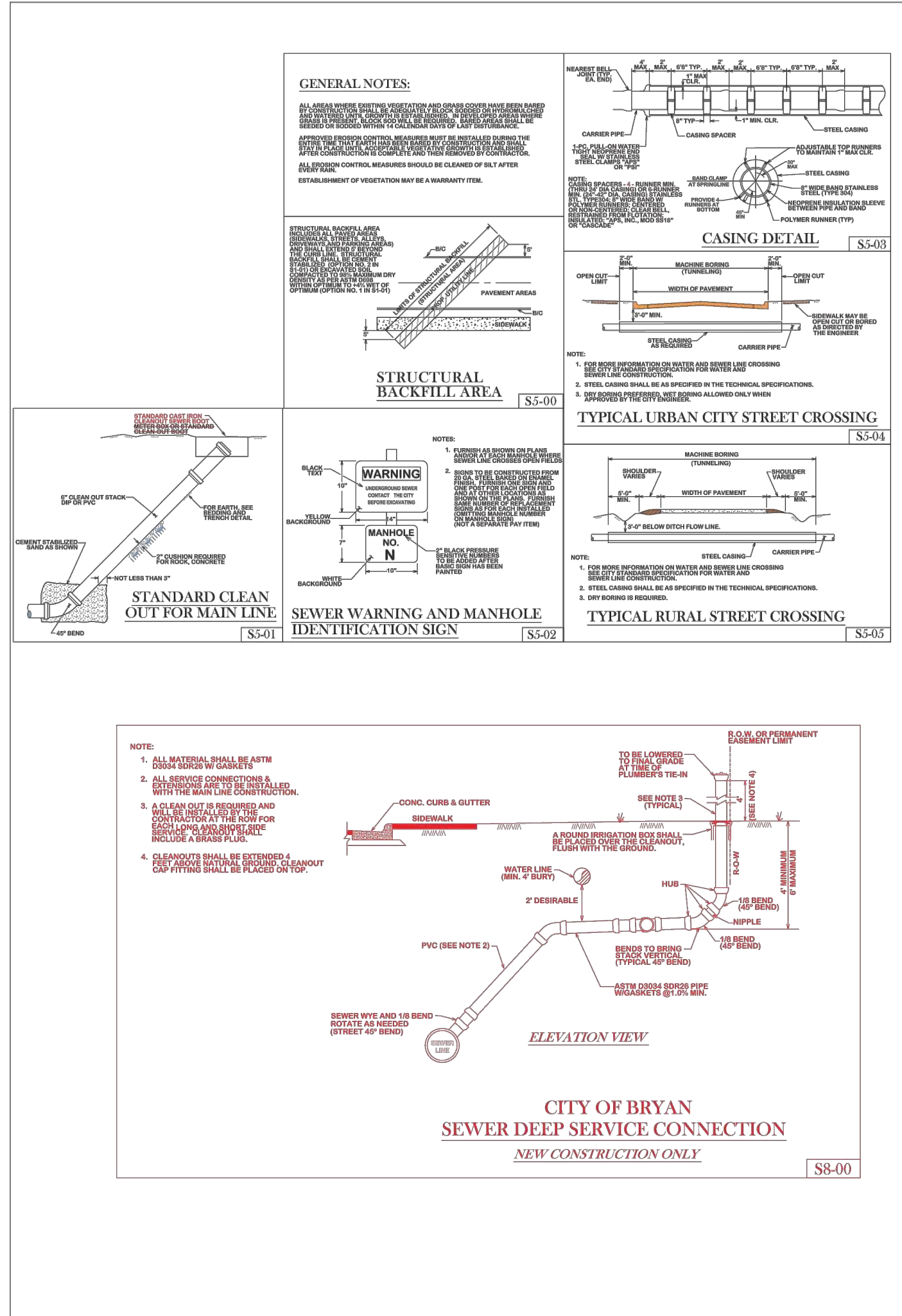
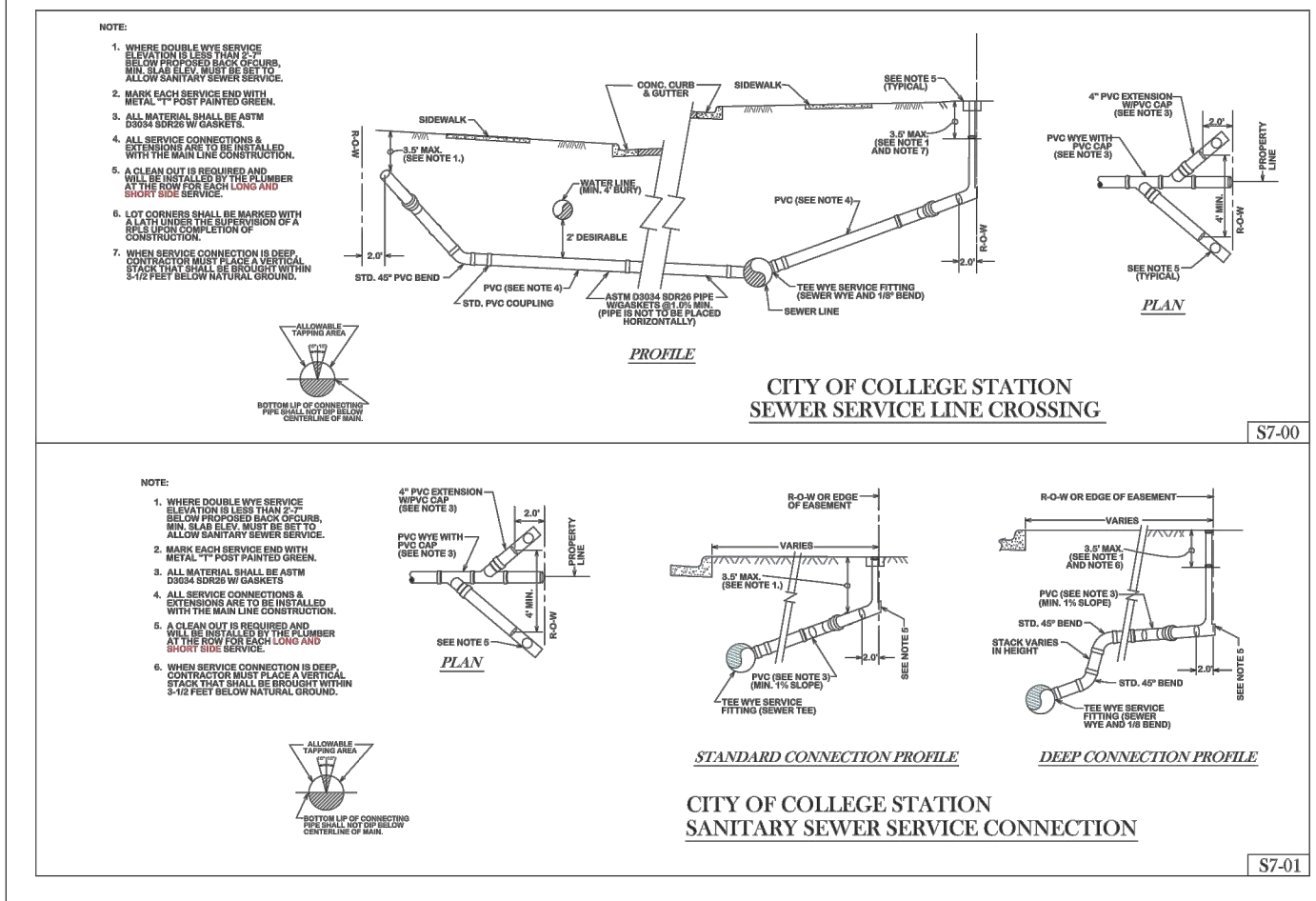
**BRYAN - COLLEGE STATION STANDARD SEWER DETAILS**

City of College Station

City of Bryan  
The Good Life. The Best.

DATE: 01/12/2020  
SCALE: N.T.S.  
APPROVED: R.P.K.

FIGURE: S1  
SHEET 1 OF 1



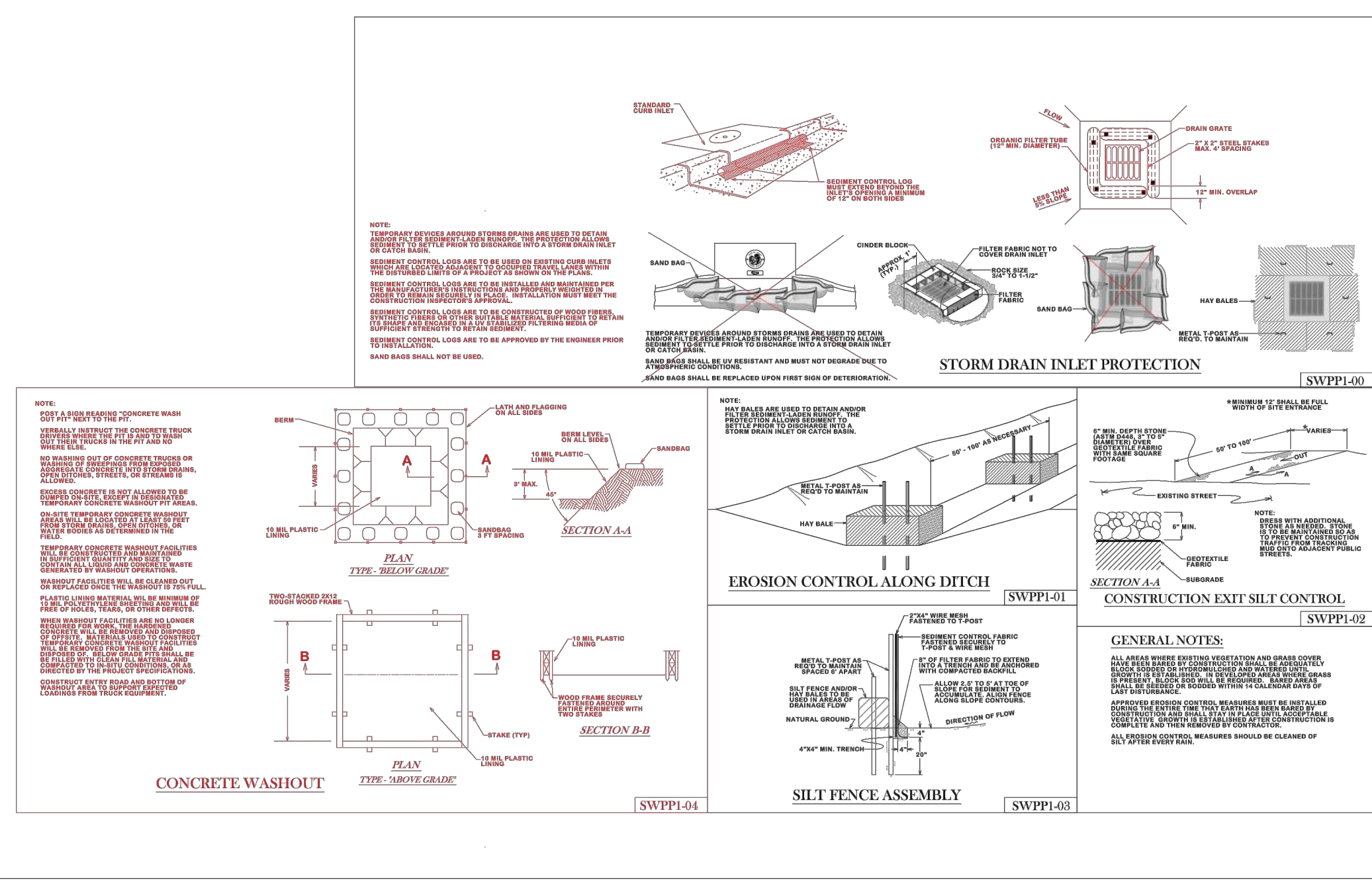
**BRYAN - COLLEGE STATION STANDARD SEWER DETAILS**

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SCALE: N.T.S.  
APPROVED: R.P.K.

FIGURE: S2  
SHEET 2 OF 3



**GESSNER ENGINEERING**

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**BRYAN - COLLEGE STATION STANDARD SEWER DETAILS**

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SCALE: N.T.S.  
APPROVED: R.P.K.

FIGURE: S3  
SHEET 3 OF 3

**BRYAN - COLLEGE STATION STANDARD STORM WATER POLLUTION PREVENTION DETAILS**

City of College Station

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DATE: 01/12/2020  
SCALE: N.T.S.  
APPROVED: R.P.K.

FIGURE: SWPP  
SHEET 1 OF 1

**RETAIL CENTER**  
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BRYAN, TX. 77807

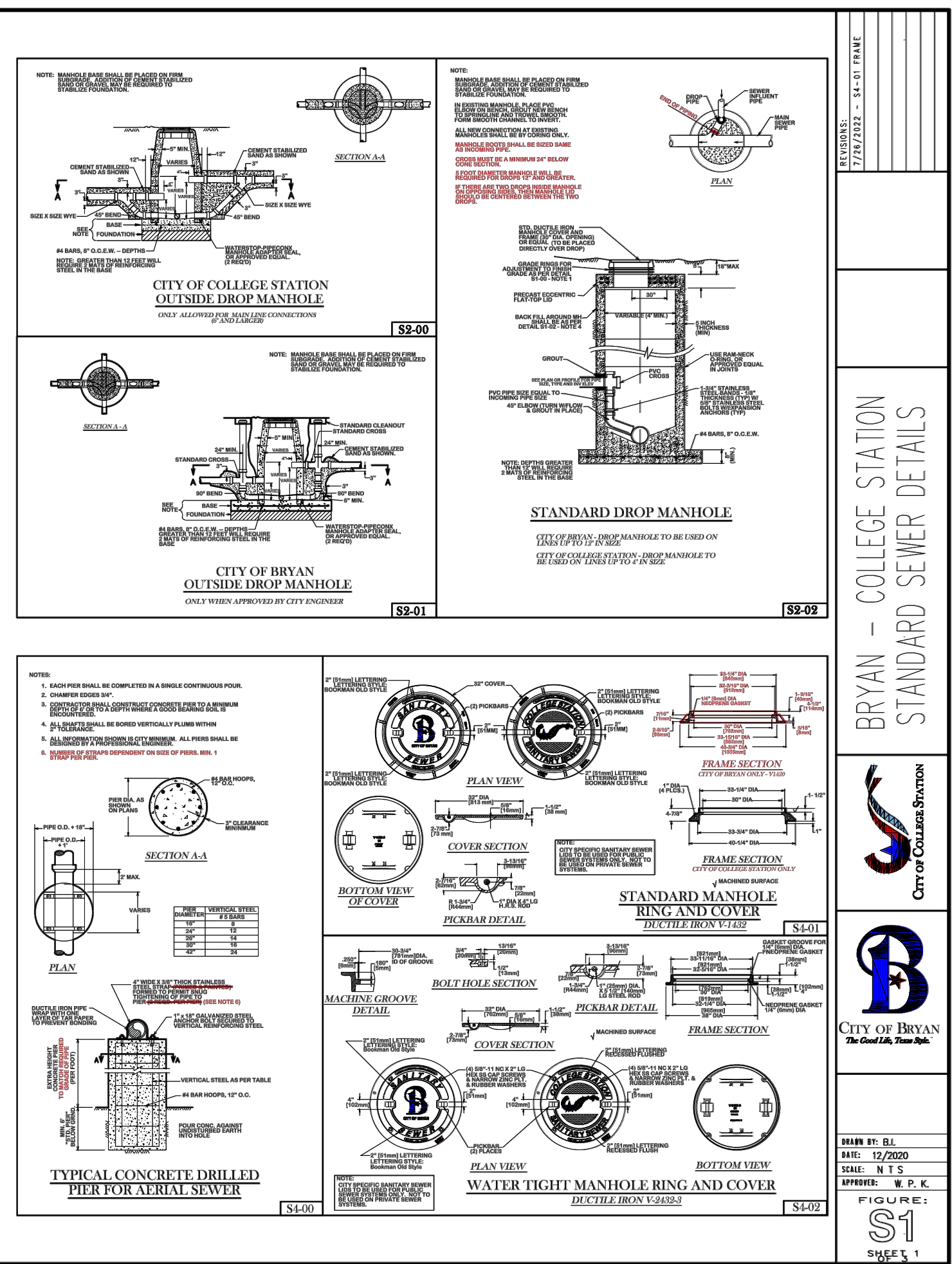
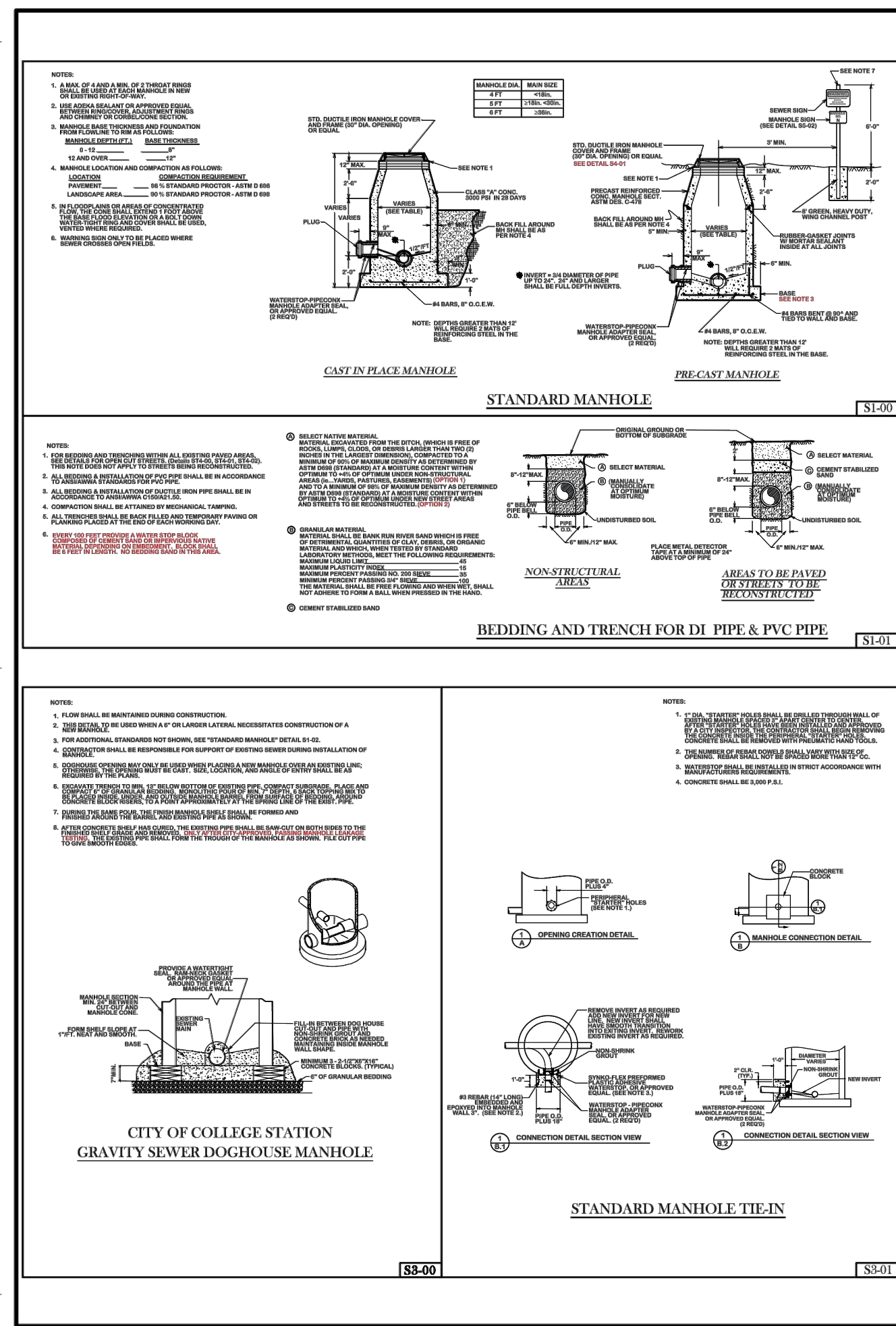
**DETAILS**

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REVISIONS

REV.	DATE	DESCRIPTION

**C1401**

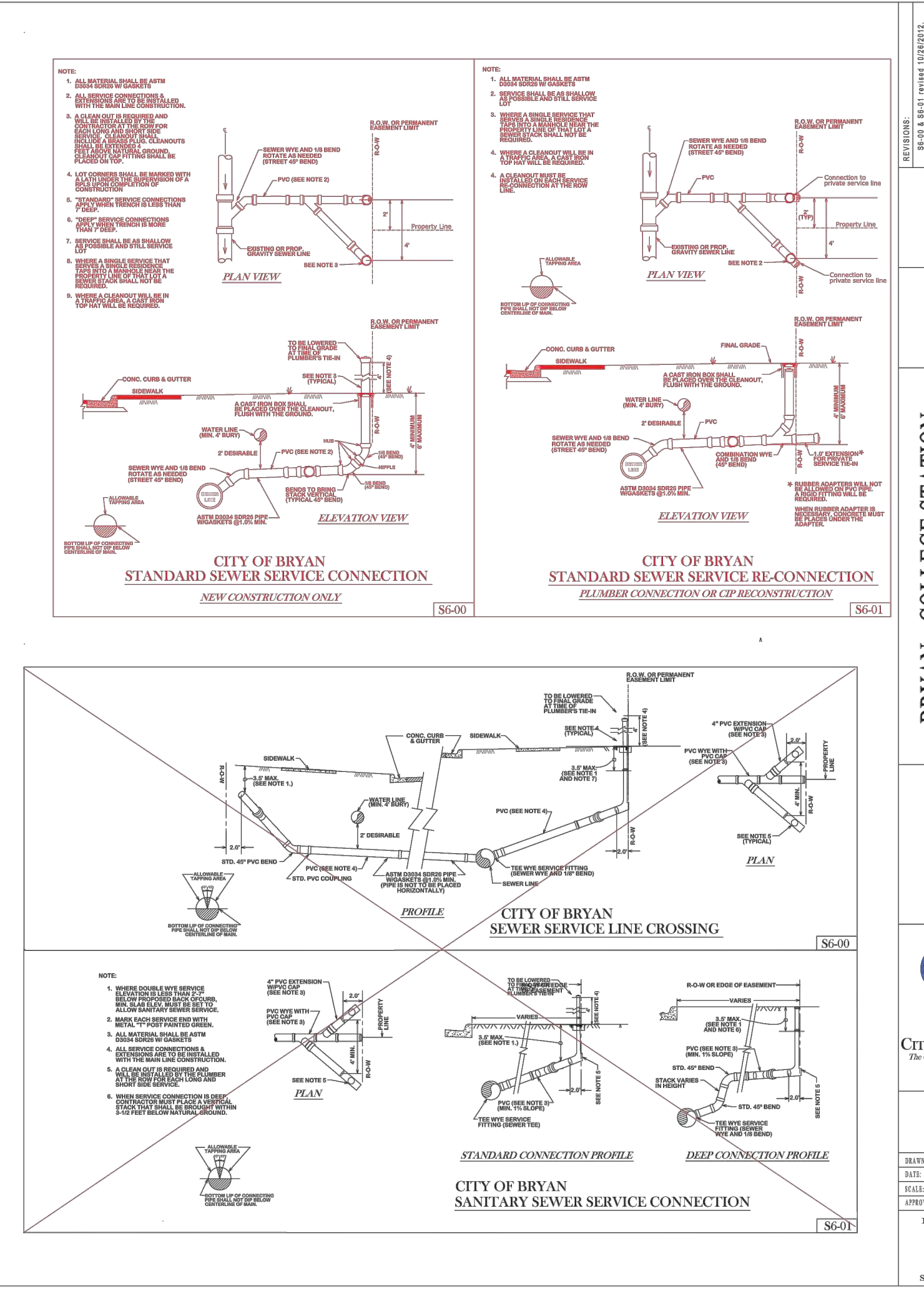
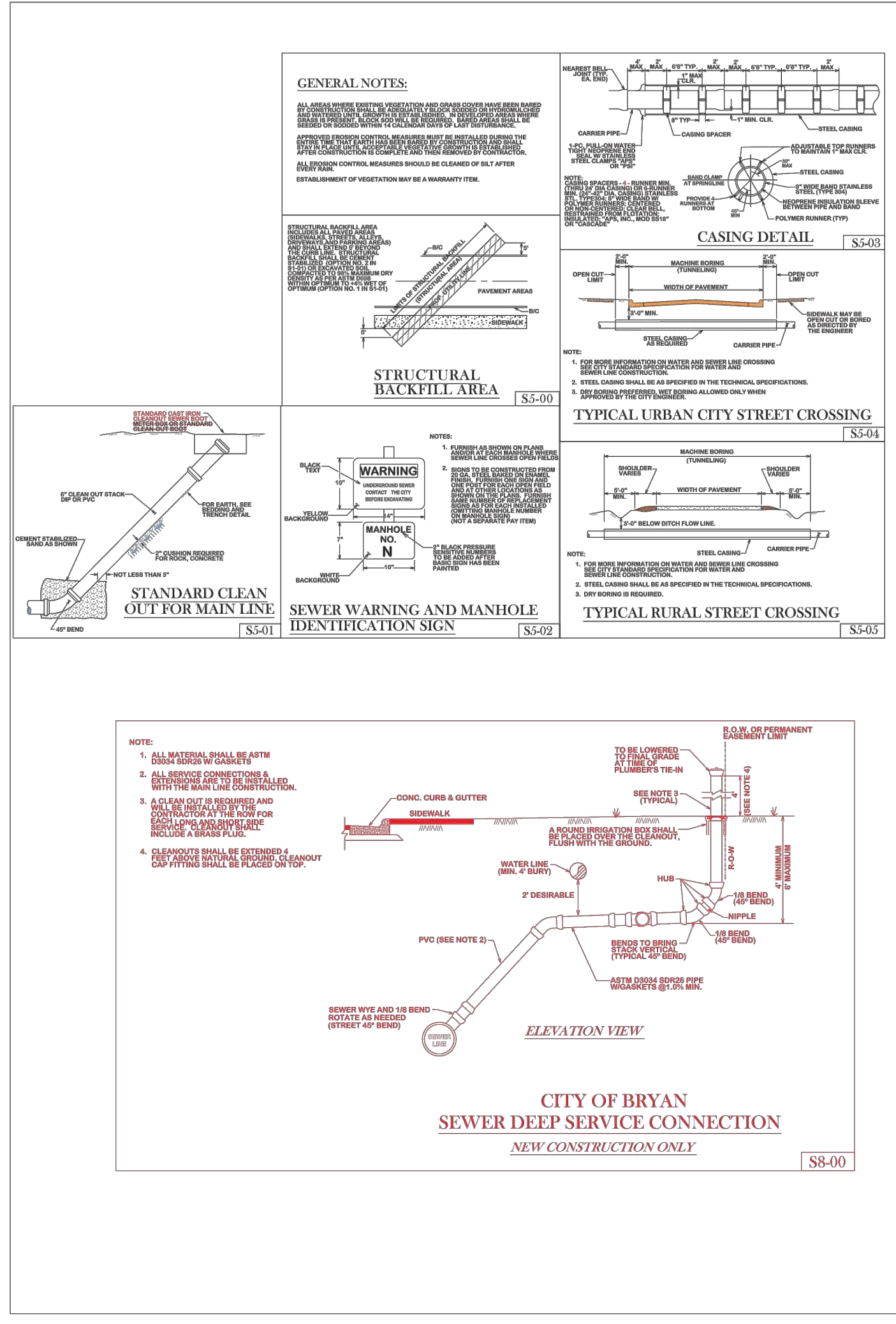
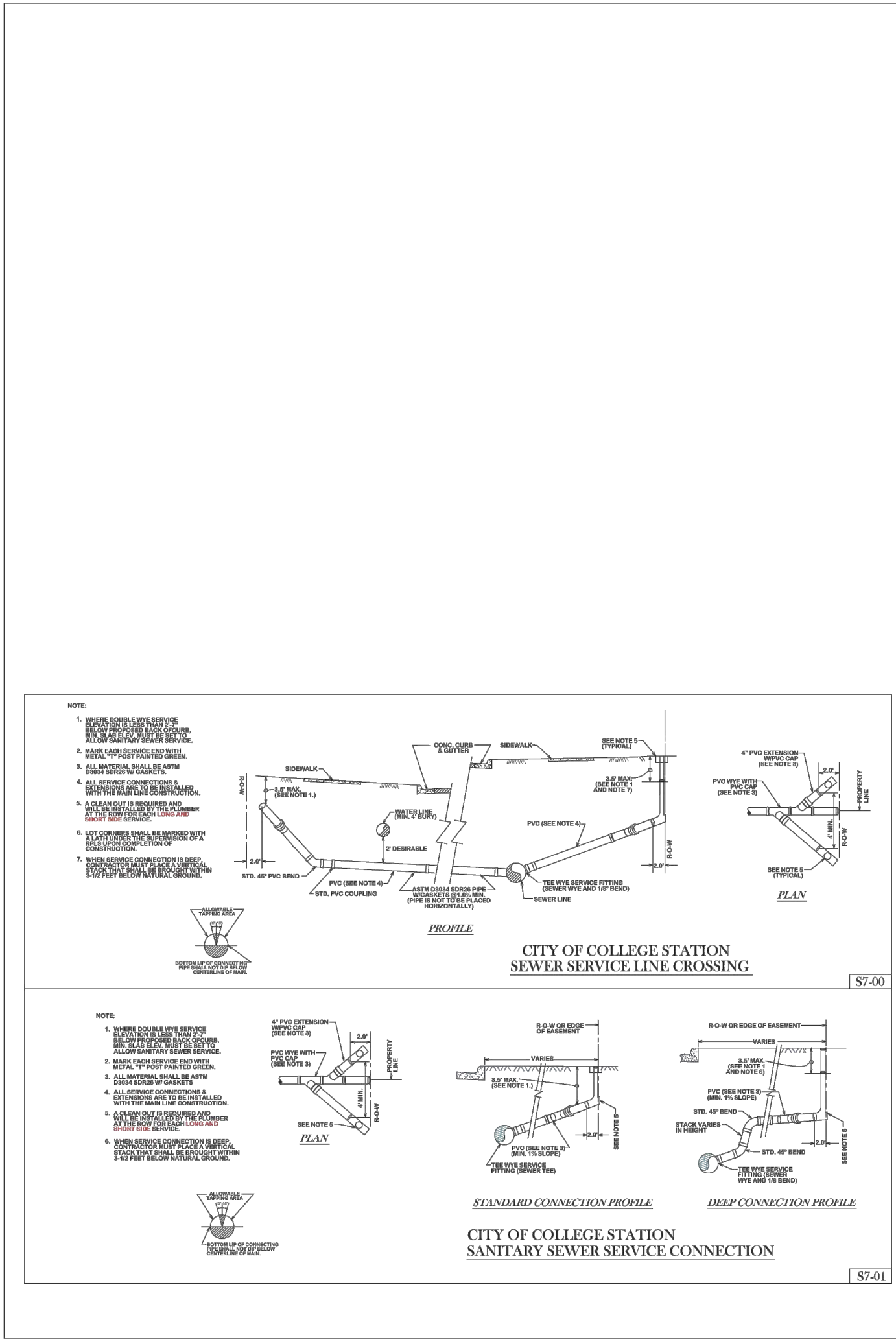


BRYAN - COLLEGE STATION STANDARD SEWER DETAILS

City of College Station

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APPROVED: R.P.K.  
FIGURE: S1  
SHEET 1 OF 1

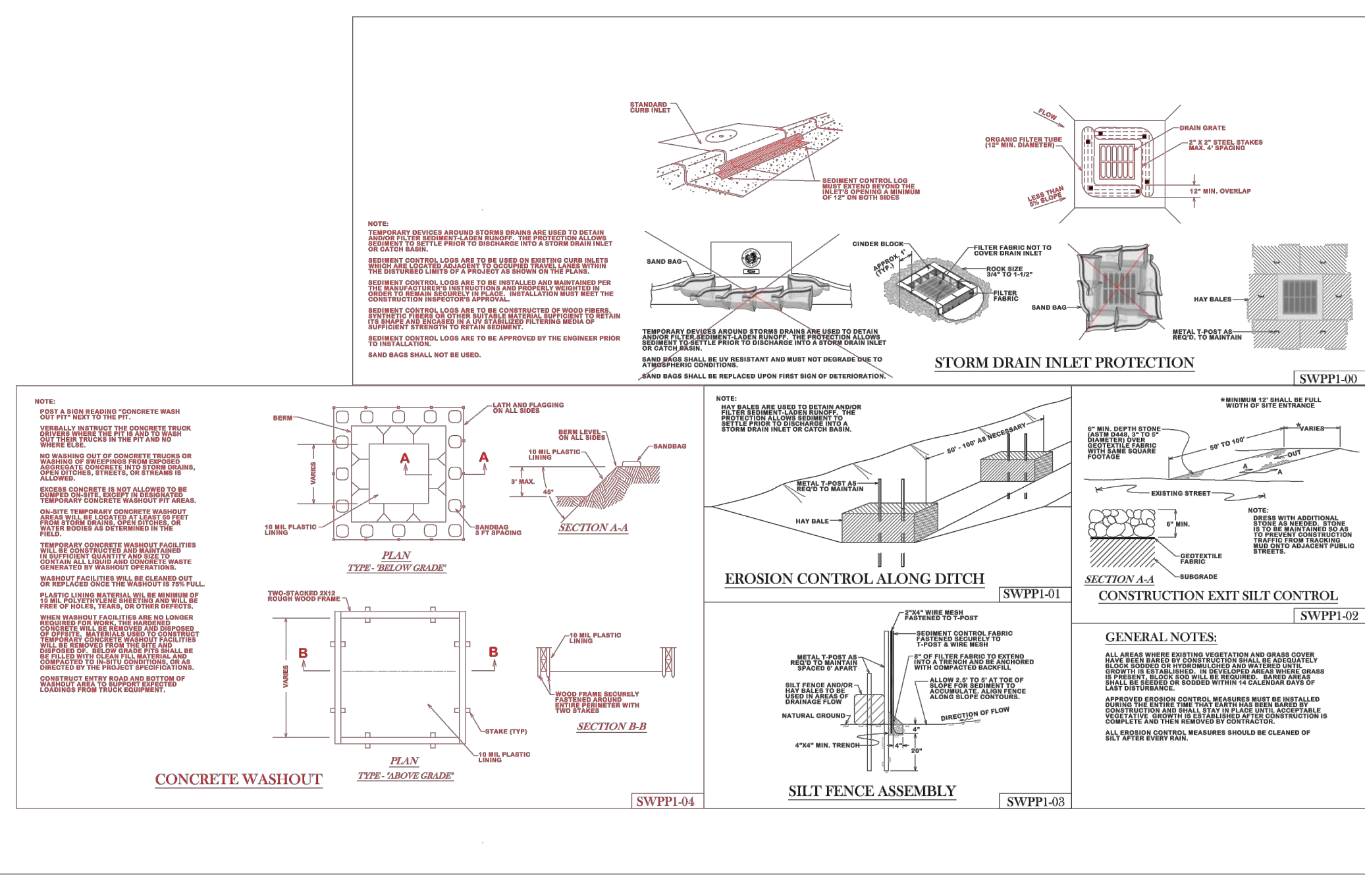


BRYAN - COLLEGE STATION STANDARD SEWER DETAILS

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FIGURE: S2  
SHEET 2 OF 2



BRYAN - COLLEGE STATION STANDARD SEWER DETAILS

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SCALE: N.T.S.  
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FIGURE: S3  
SHEET 3 OF 3

**G**  
**GESSNER**  
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BRYAN - COLLEGE STATION STANDARD STORM WATER POLLUTION PREVENTION DETAILS

City of College Station

City of Bryan  
The Good Life. The Best.

DATE: 01/12/2020  
SCALE: N.T.S.  
APPROVED: R.P.K.  
FIGURE: SWPP  
SHEET 1 OF 1

**G**  
**GESSNER**  
ENGINEERING

CIVIL | CMT | GEOTECHNICAL  
LAND SURVEYING | STRUCTURAL

RETAIL CENTER  
1642 W. VILLA MARIA RD.  
BRYAN, TX. 77807

DETAILS

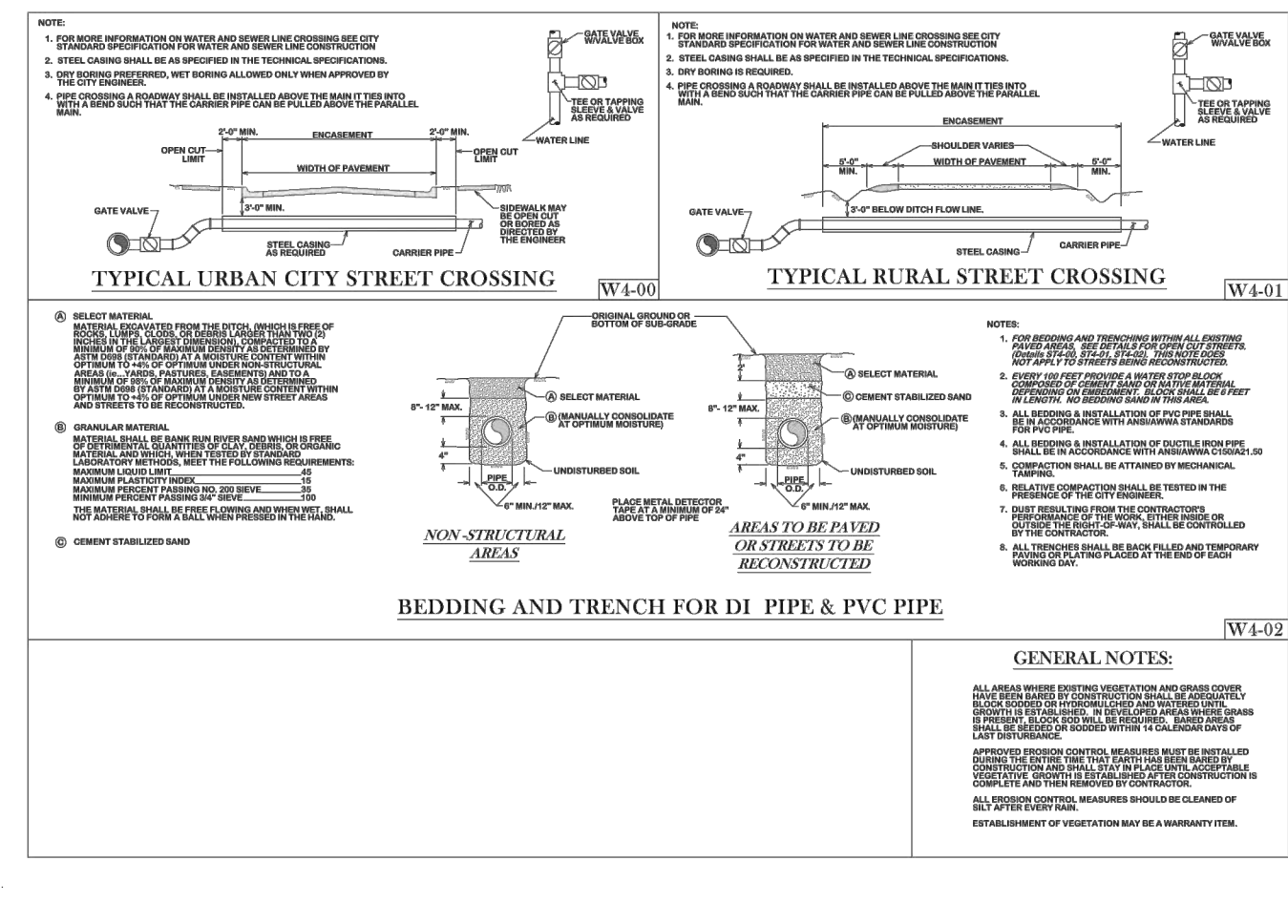
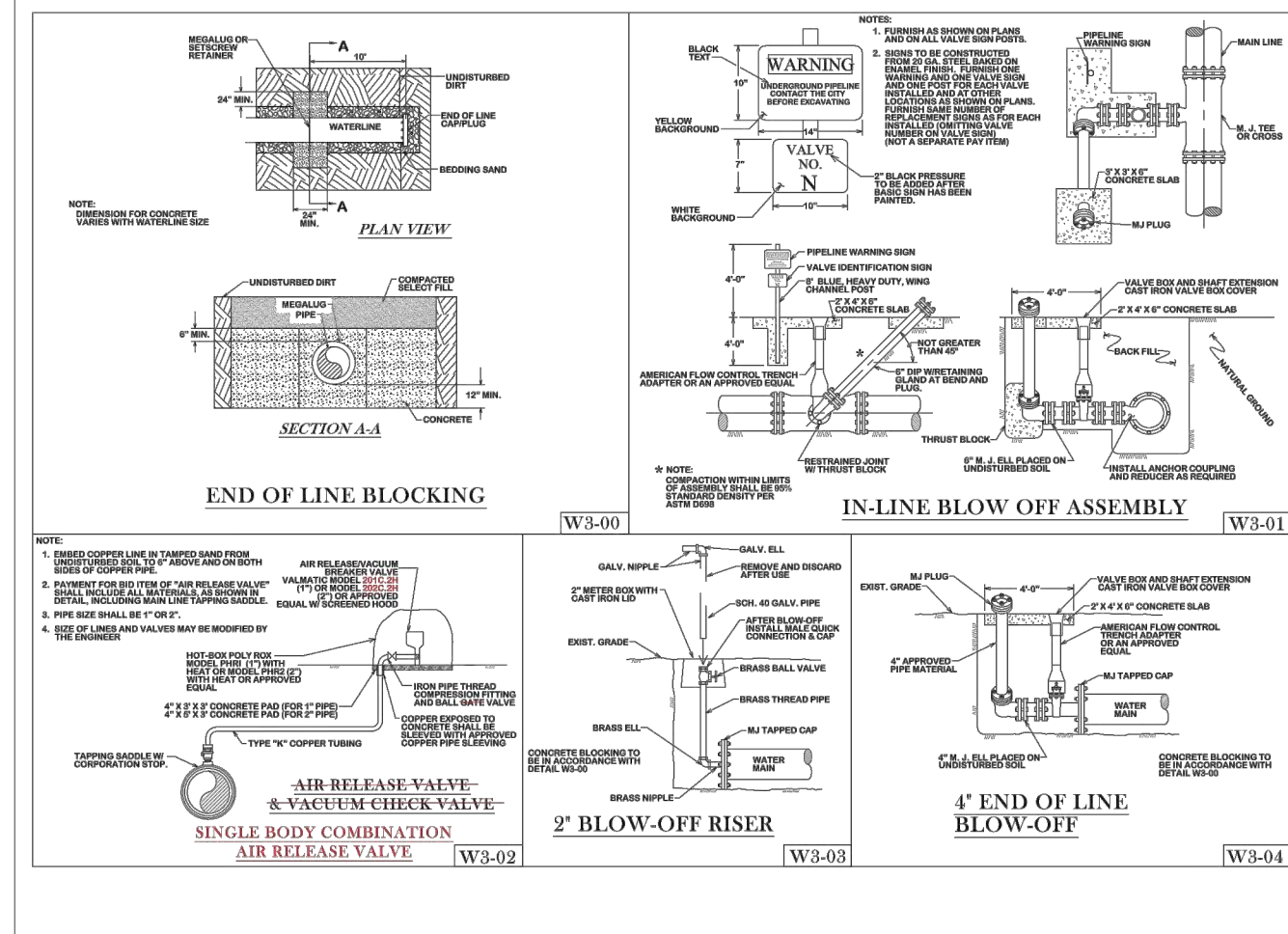
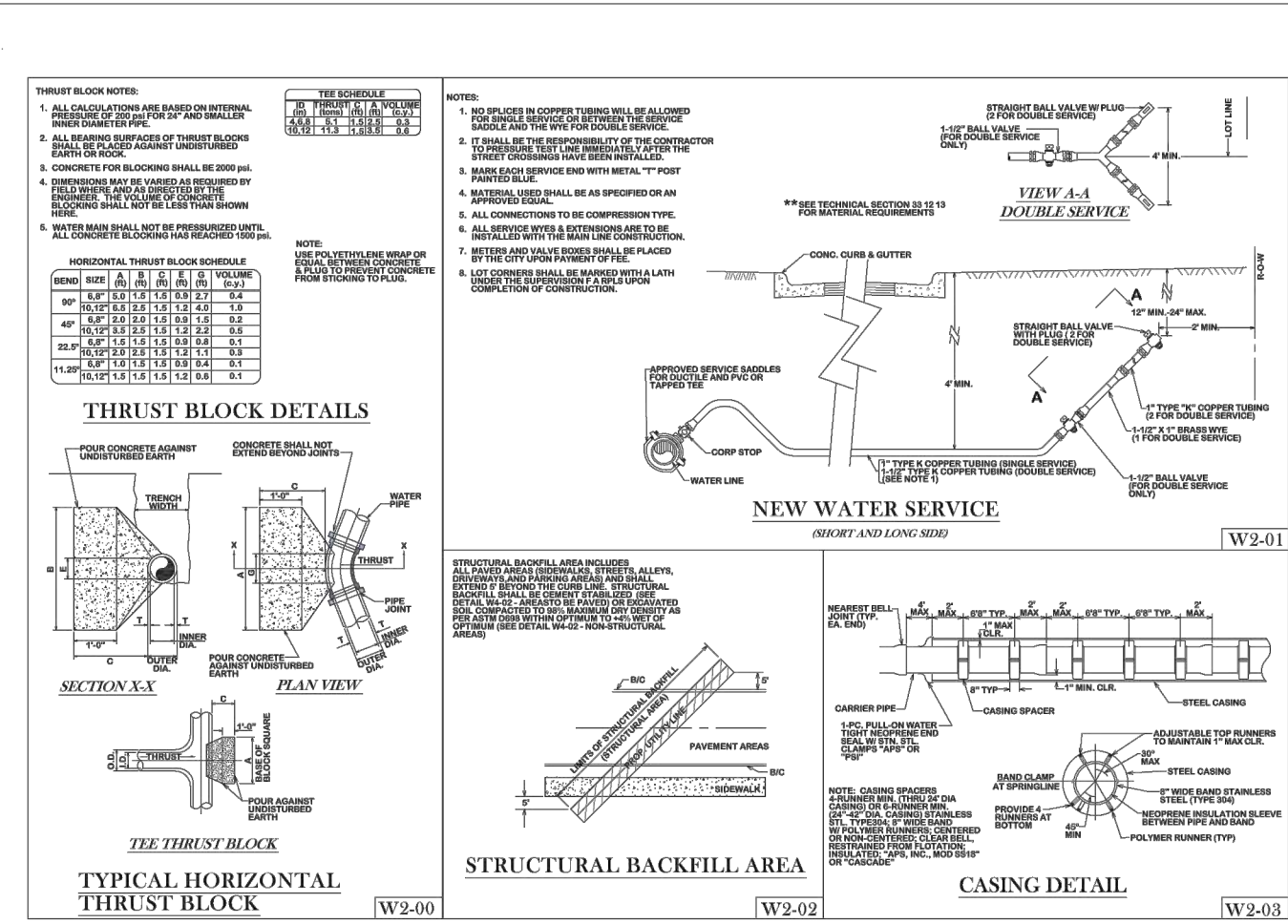
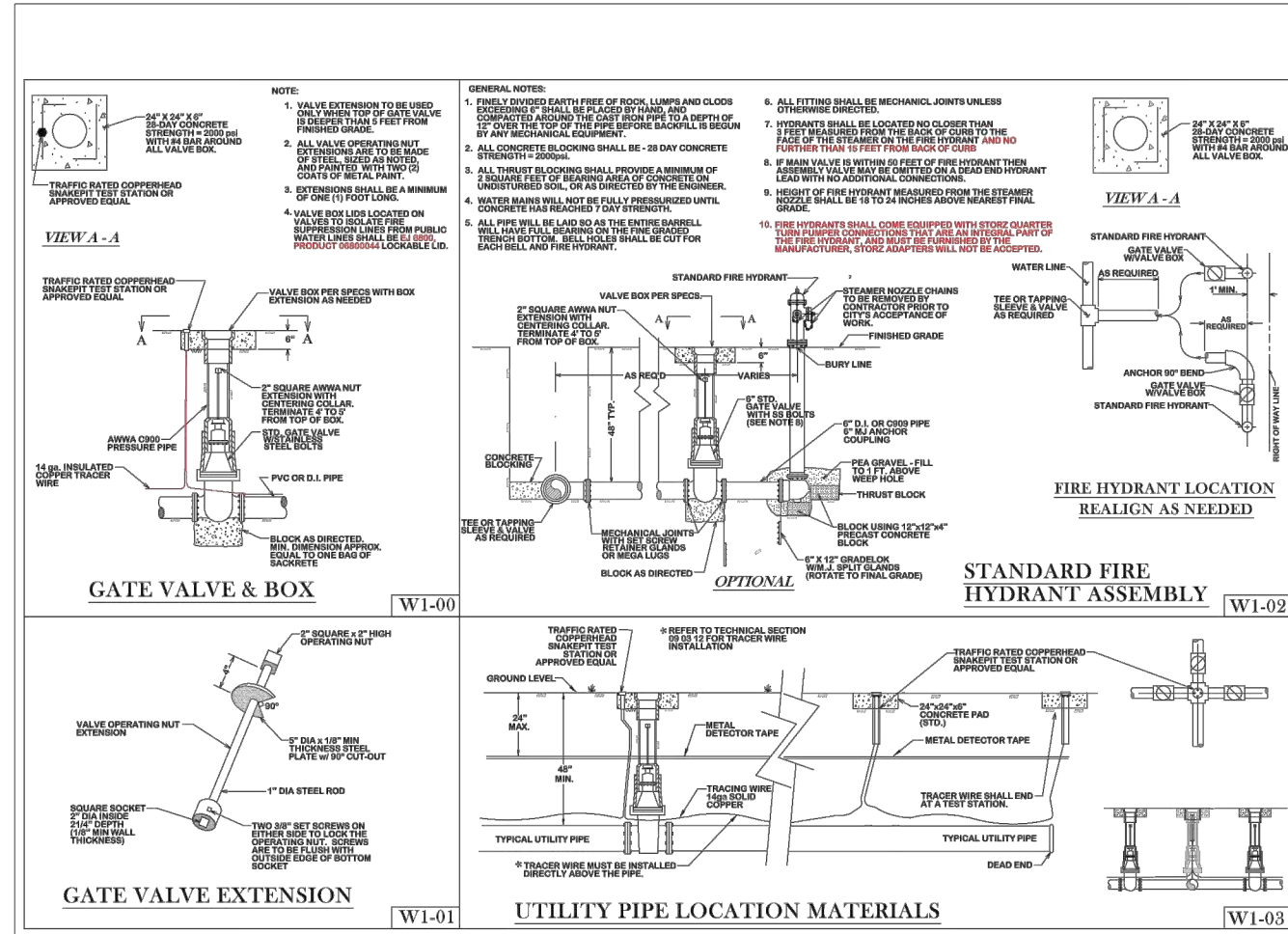
ISSUE DATE: 02-08-2023  
DRAWN BY: MK  
CHECKED BY: MK  
PROJECT #: 21-1472

REVISIONS

REV.	DATE	DESCRIPTION

C1401



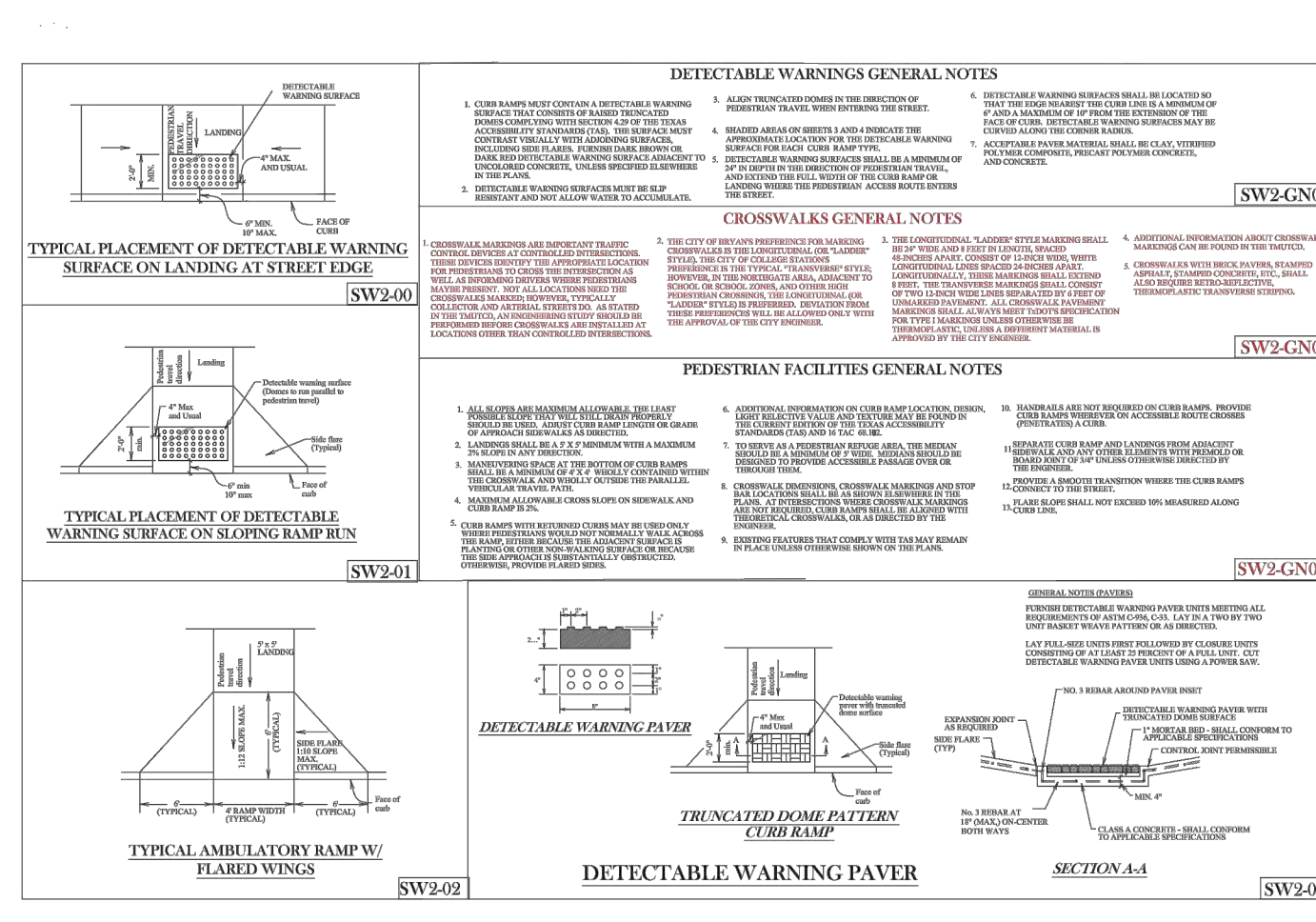
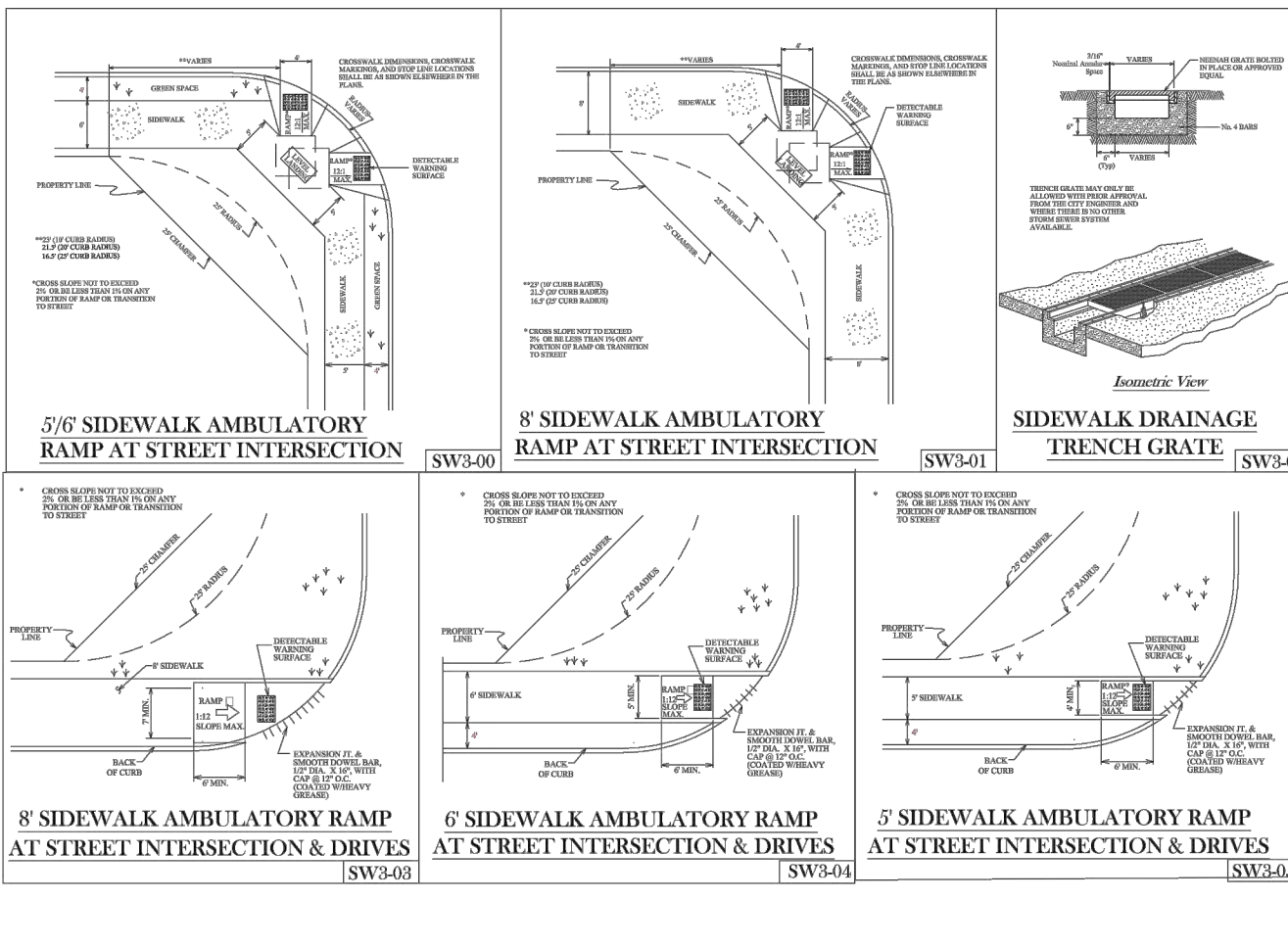
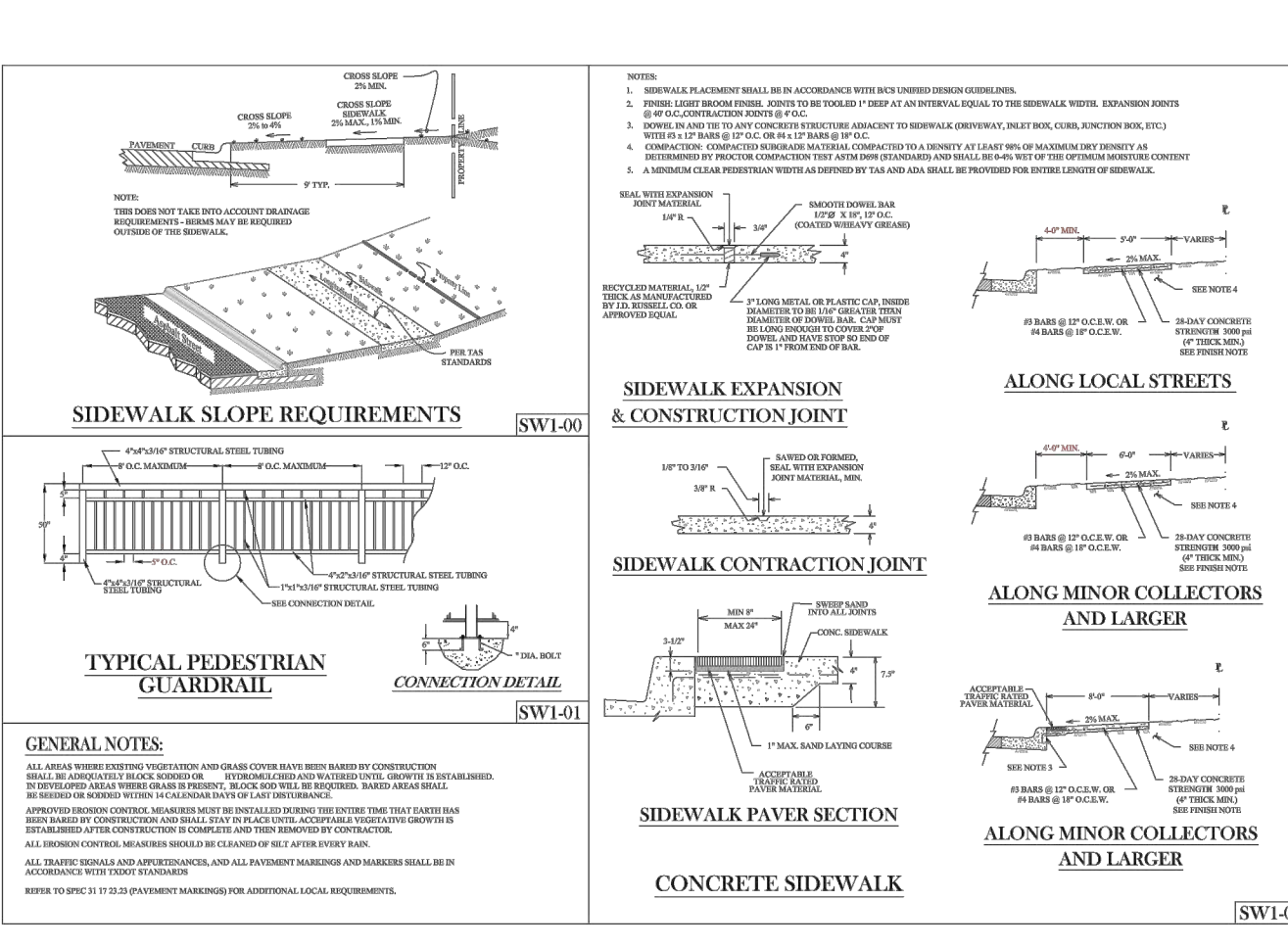


BRYAN - COLLEGE STATION STANDARD WATER DETAILS

CITY OF COLLEGE STATION

CITY OF BRYAN

SHEET 1 OF 2



BRYAN - COLLEGE STATION STANDARD SIDEWALK DETAILS

CITY OF COLLEGE STATION

CITY OF BRYAN

SHEET 1 OF 1

**GESSNER ENGINEERING**

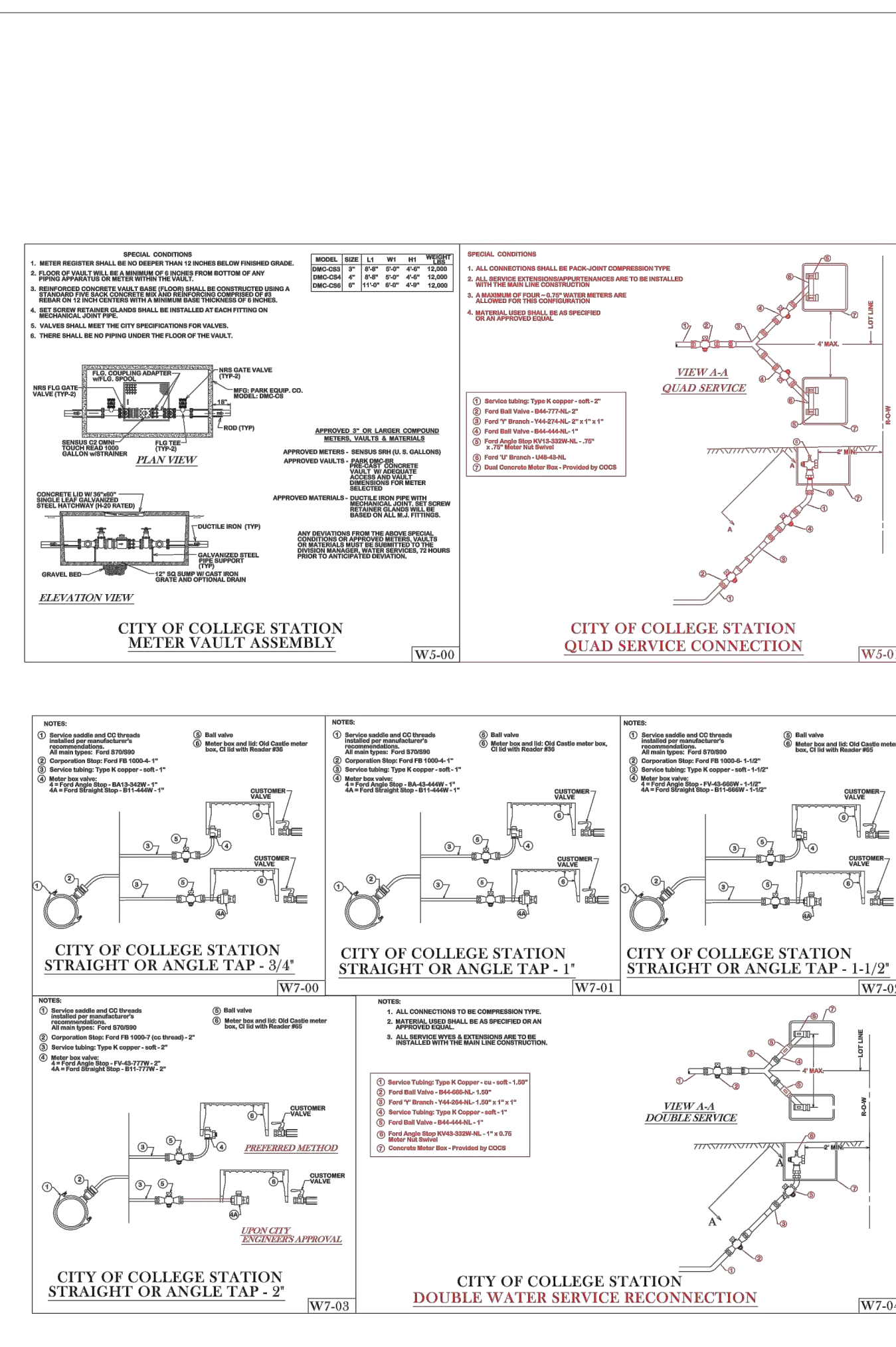
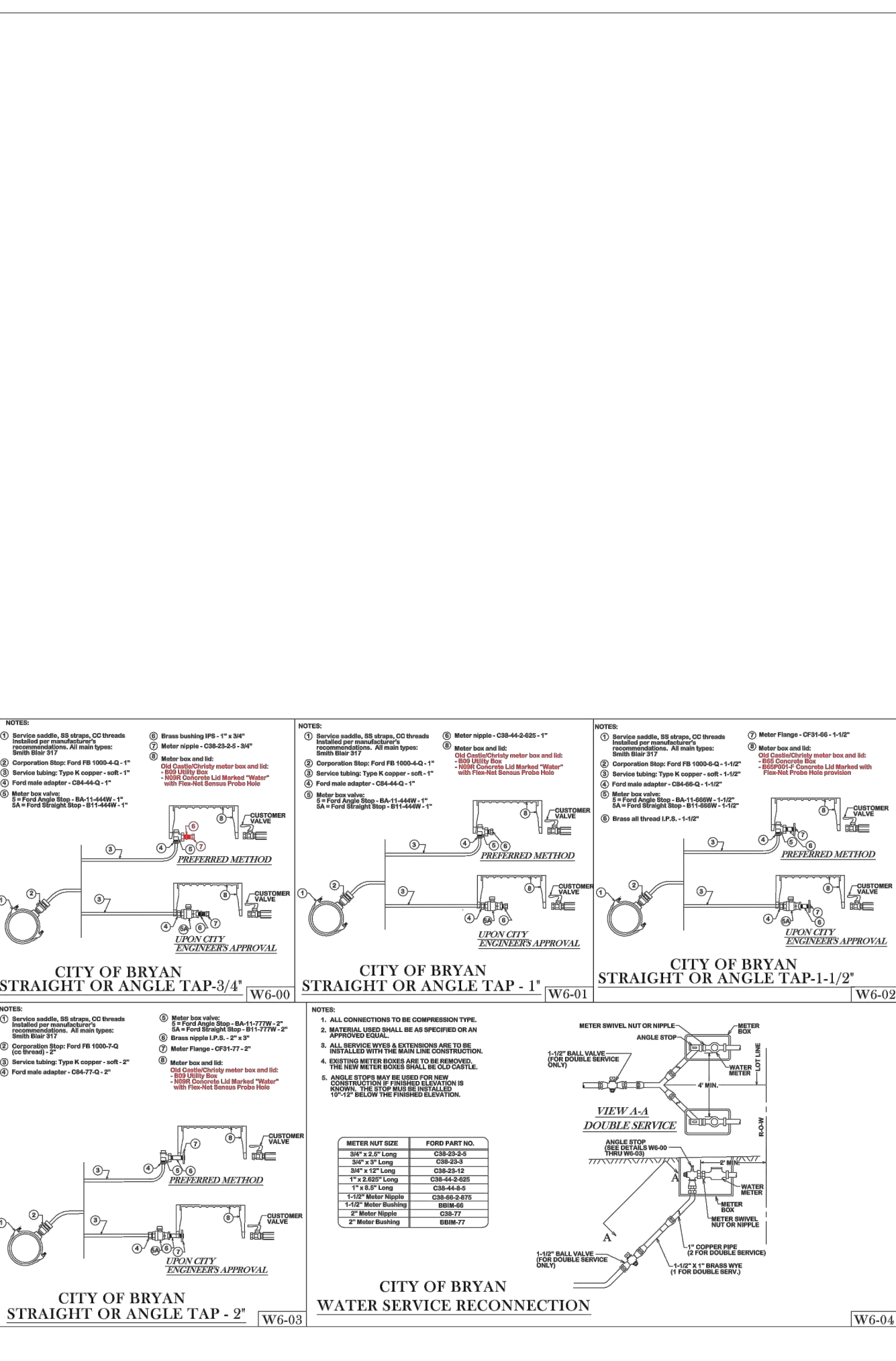
CIVIL | CMT | GEOTECHNICAL  
LAND SURVEYING | STRUCTURAL

CORPORATE OFFICE  
401 W 26TH STREET  
BRYAN, TEXAS 77803  
1-877-GESSNER (437-7637)  
www.gessnerengineering.com  
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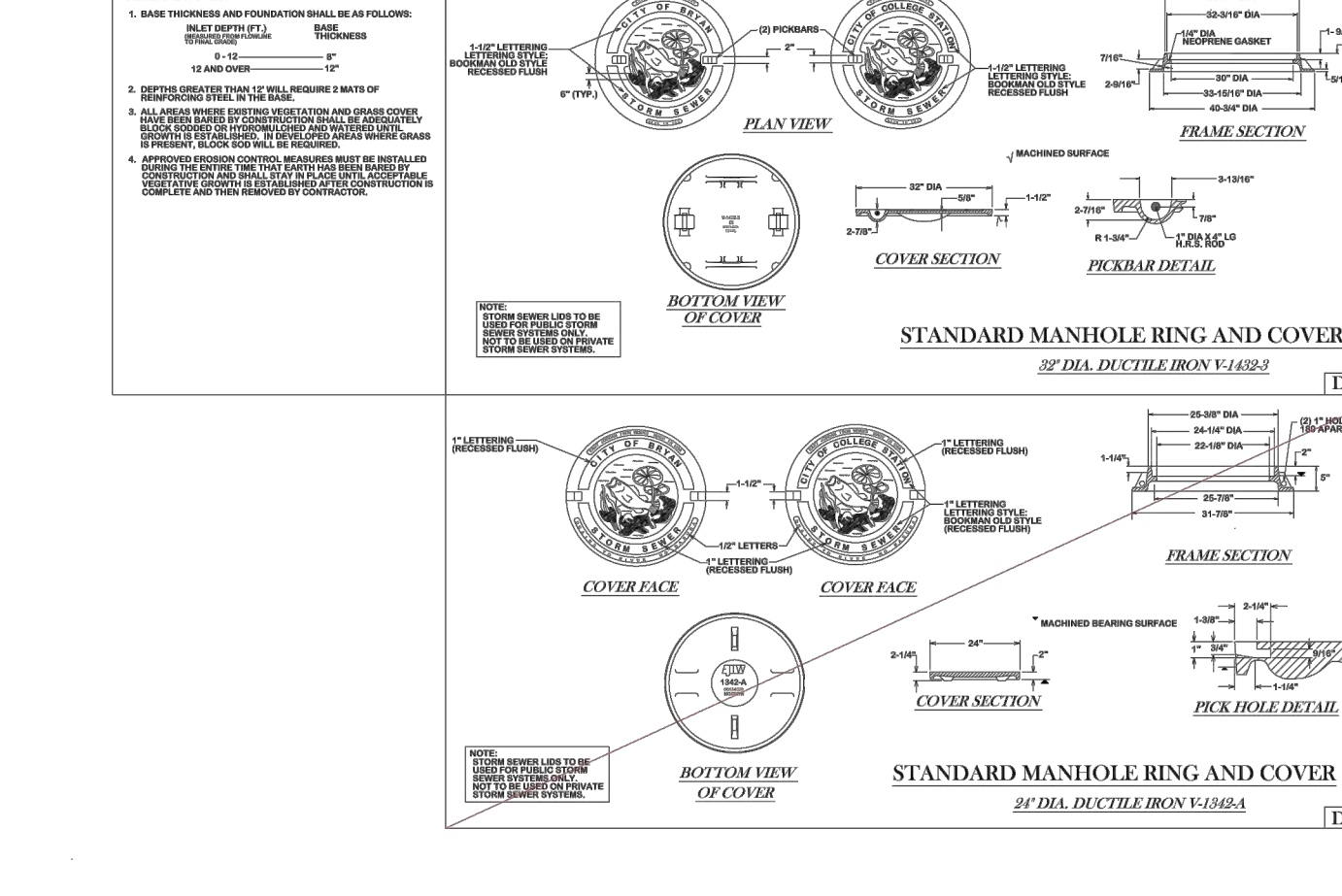
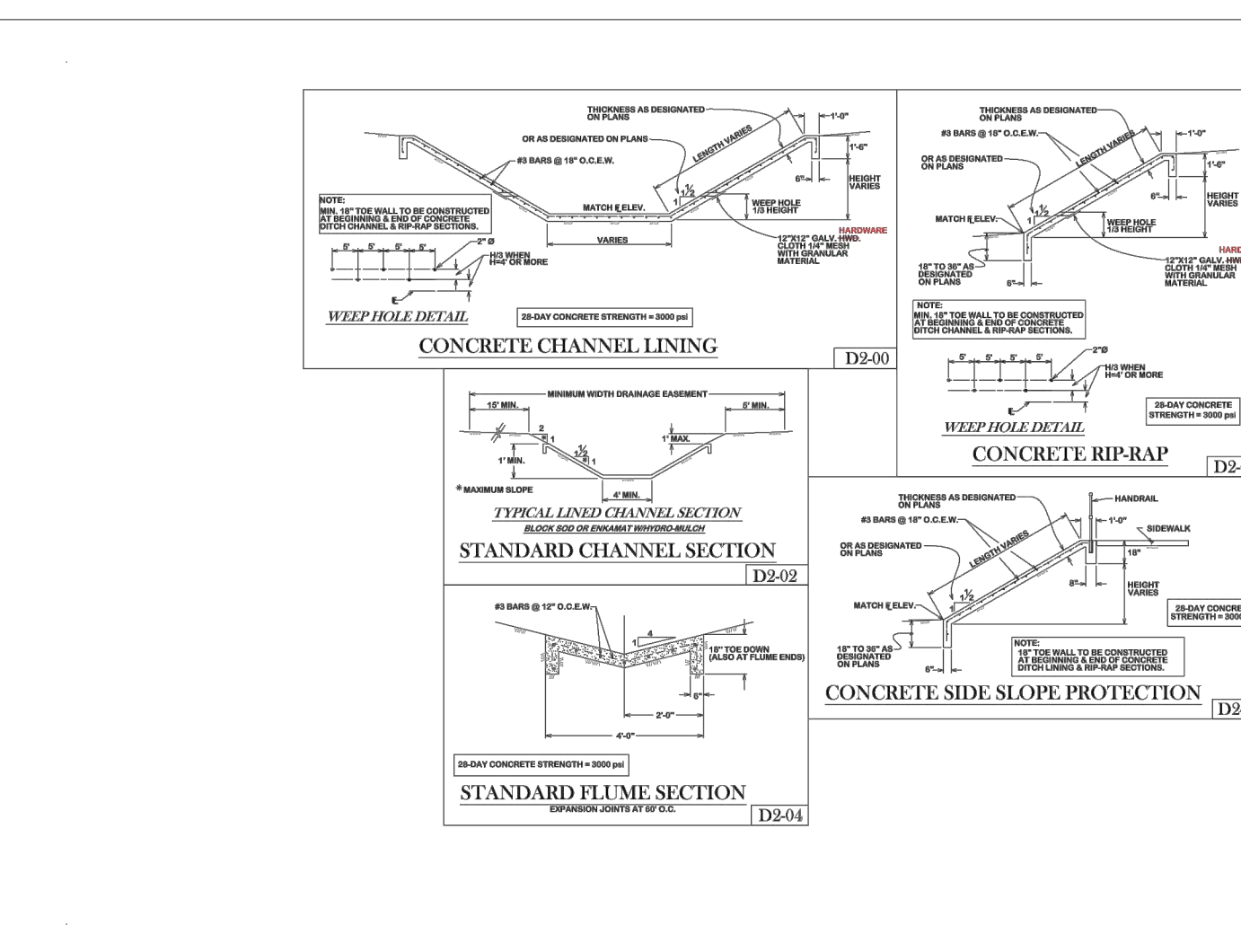
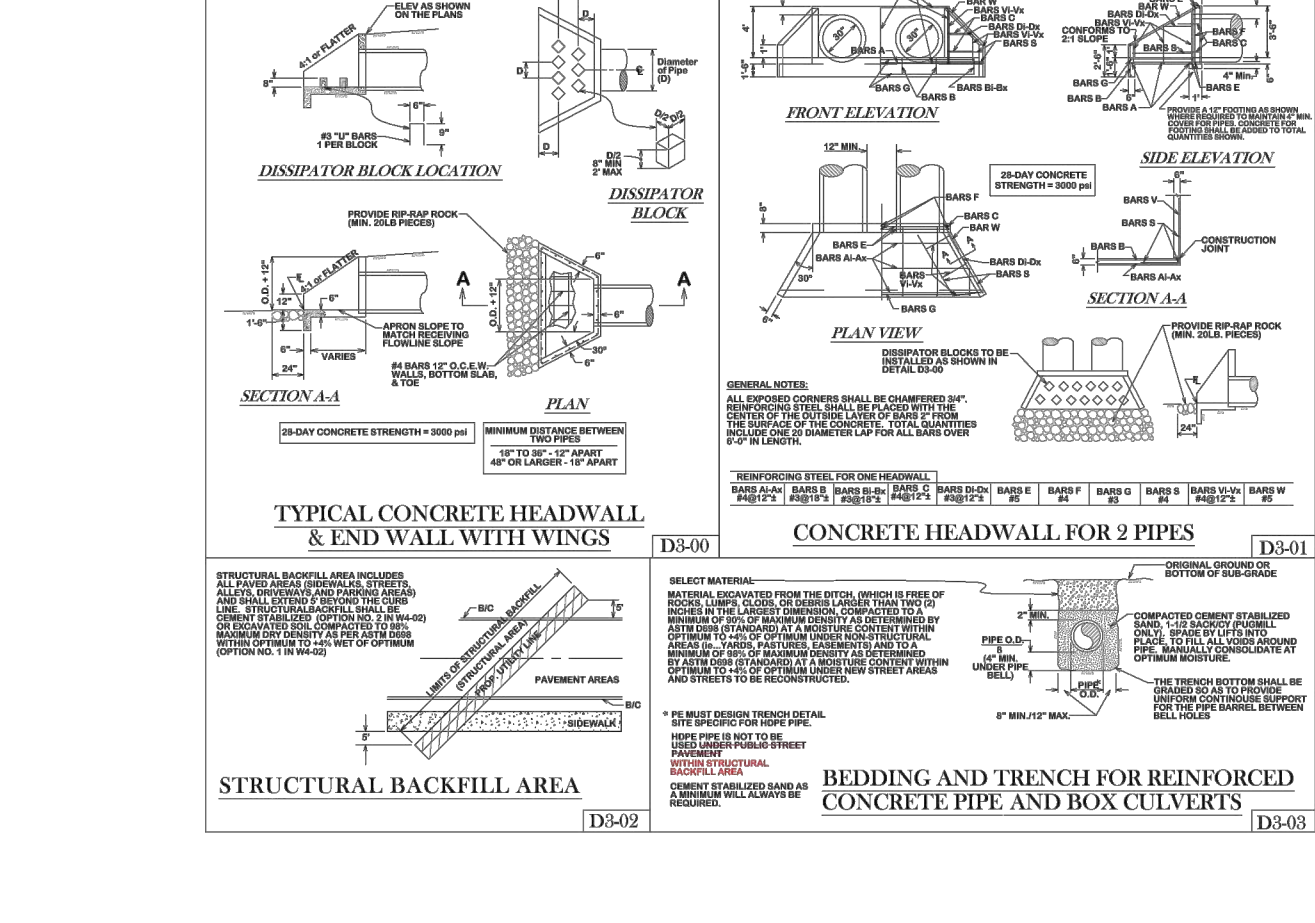
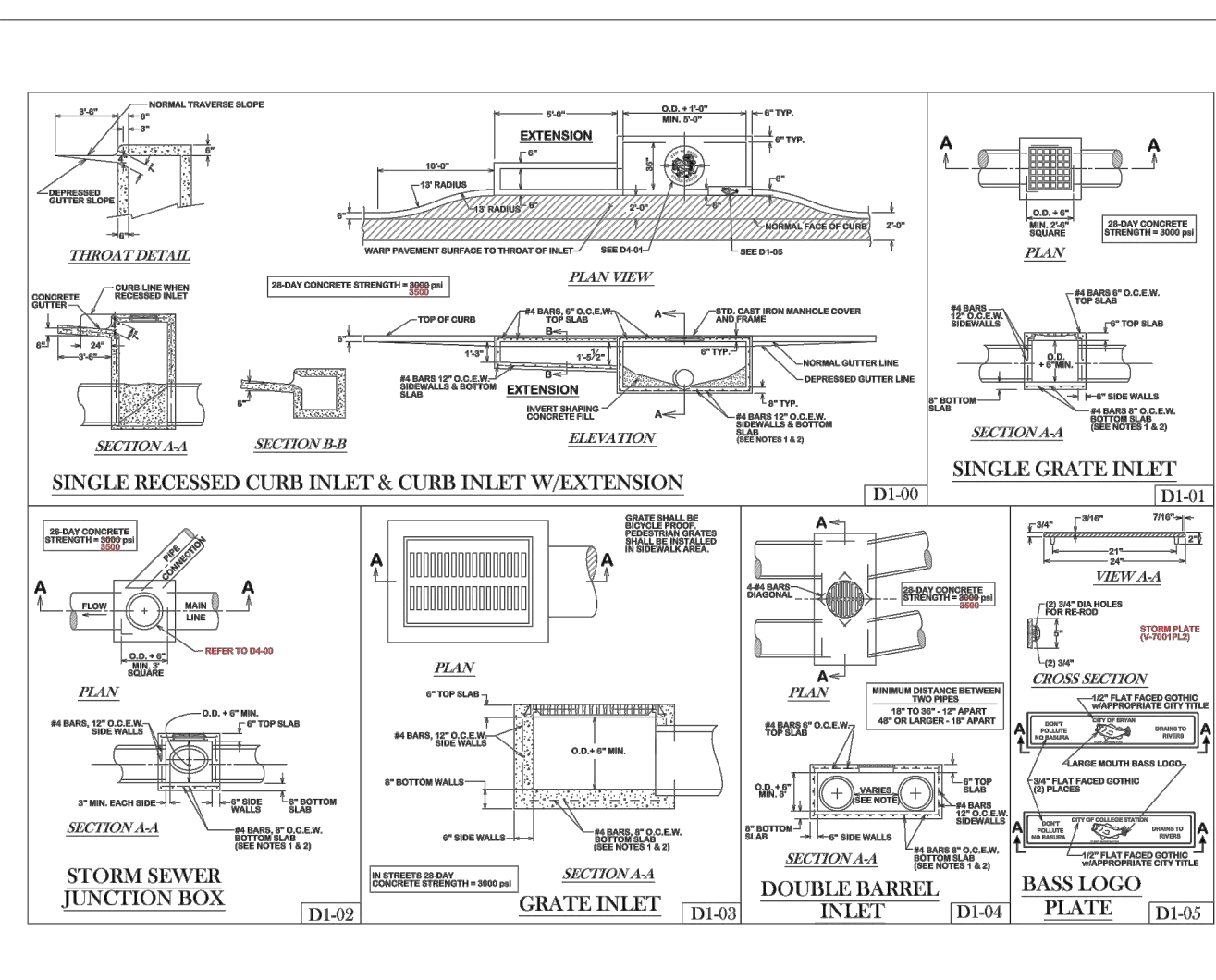


BRYAN - COLLEGE STATION STANDARD WATER DETAILS

CITY OF COLLEGE STATION

CITY OF BRYAN

SHEET 2 OF 2



BRYAN - COLLEGE STATION STANDARD DRAINAGE DETAILS

CITY OF COLLEGE STATION

CITY OF BRYAN

SHEET 1 OF 1

RETAIL CENTER  
1642 W. VILLA MARIA RD.  
BRYAN, TX. 77807

DETAILS

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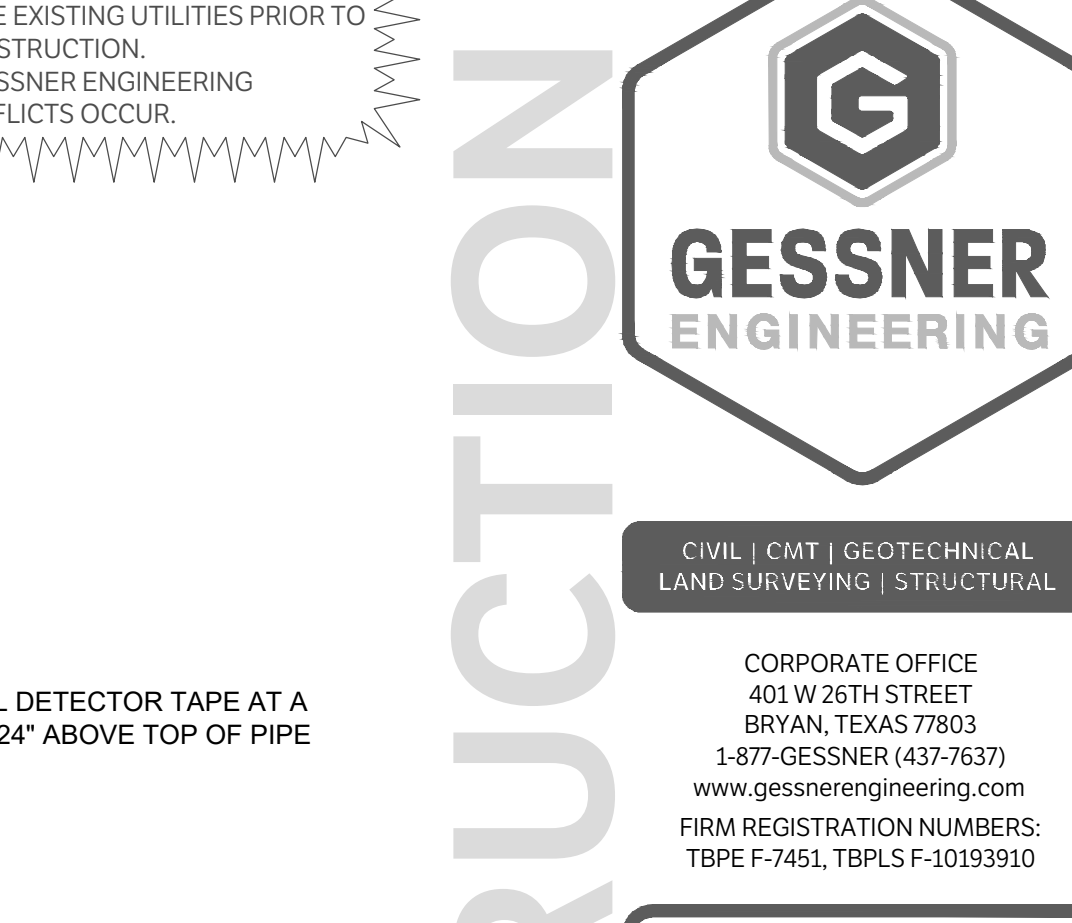
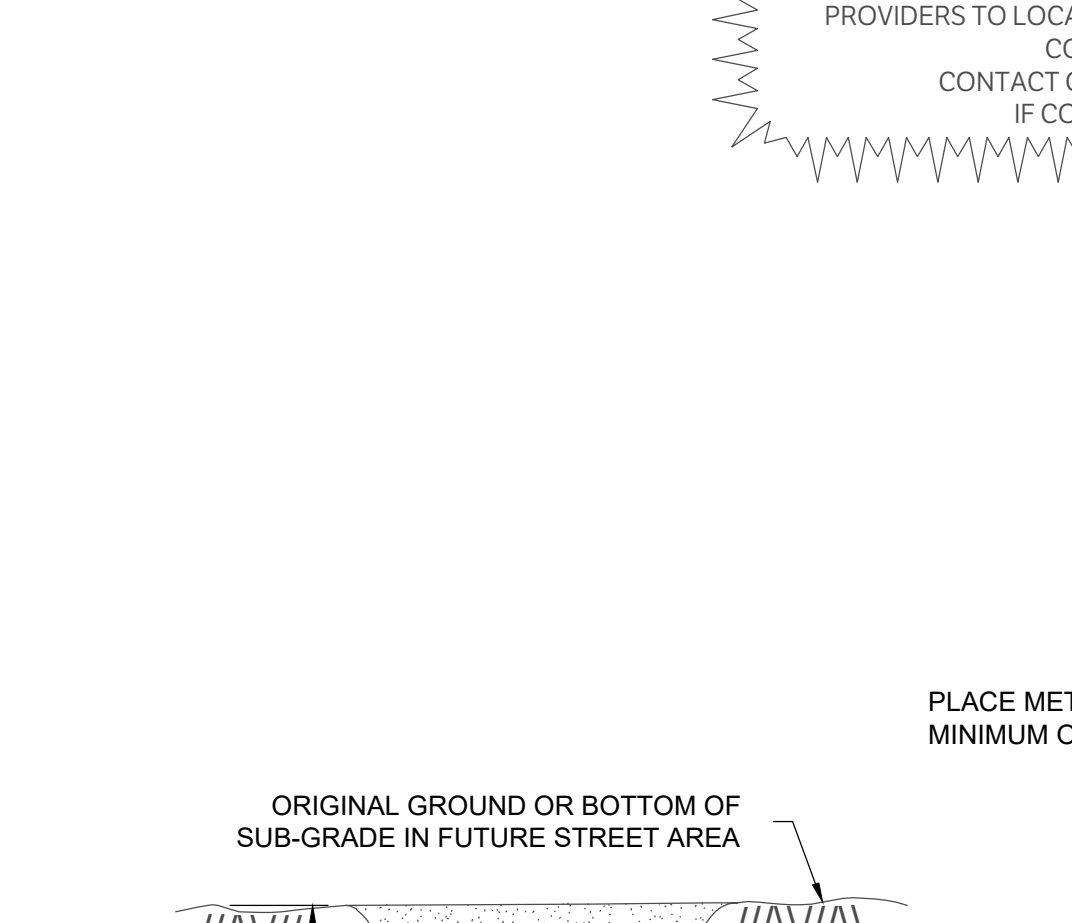
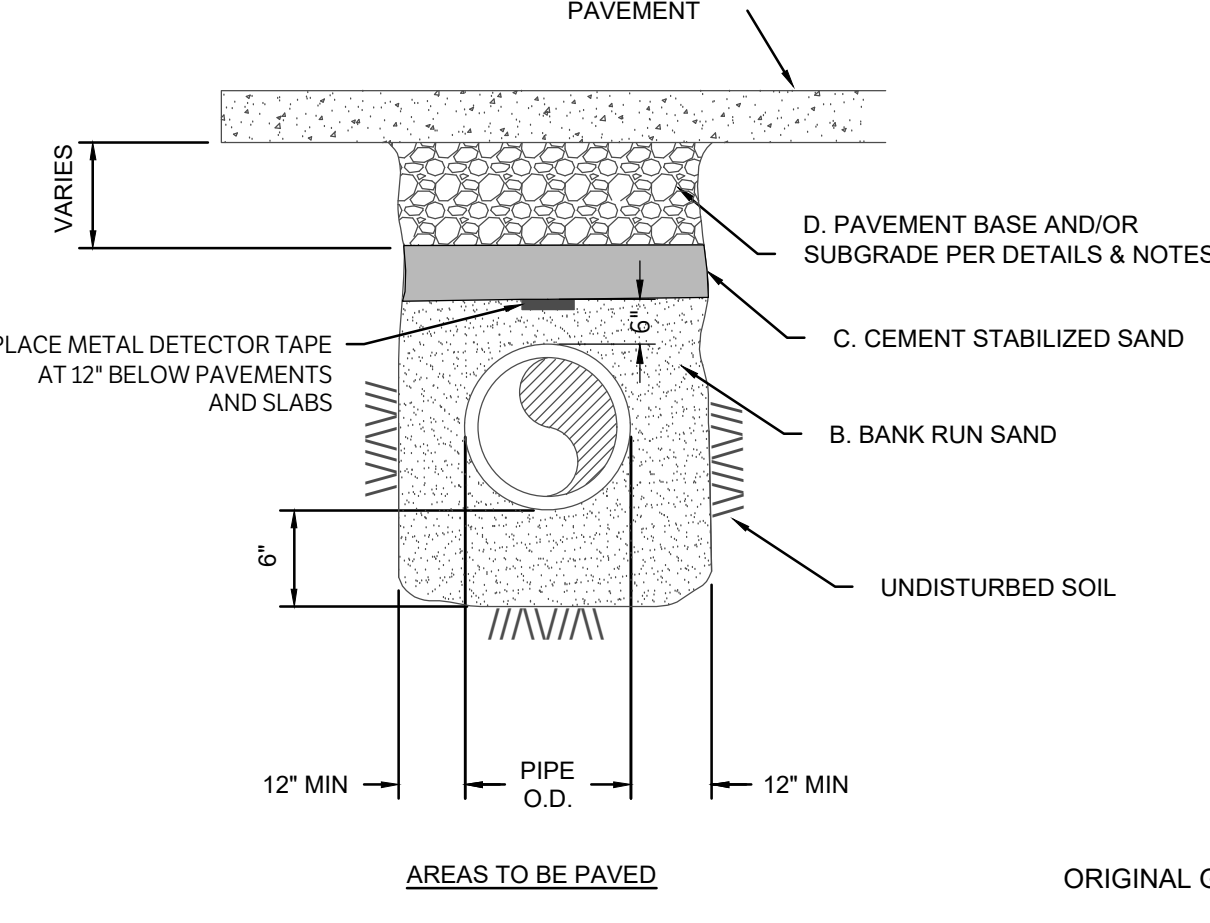
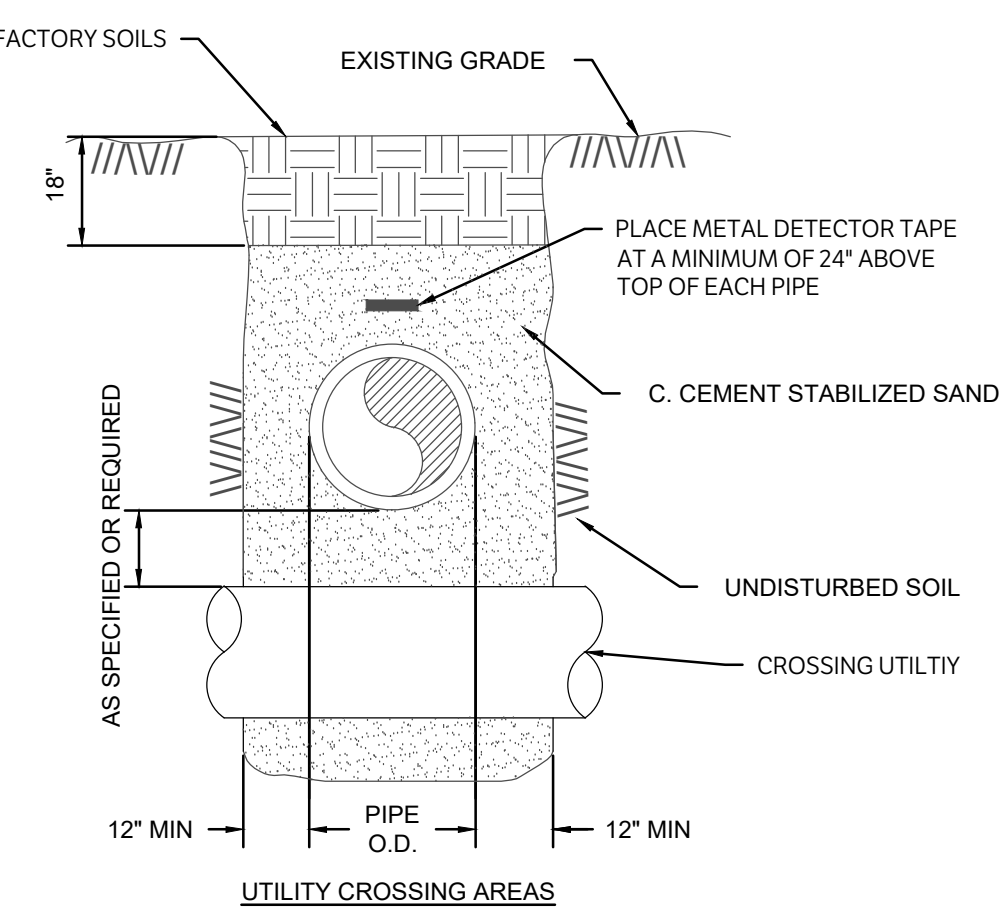
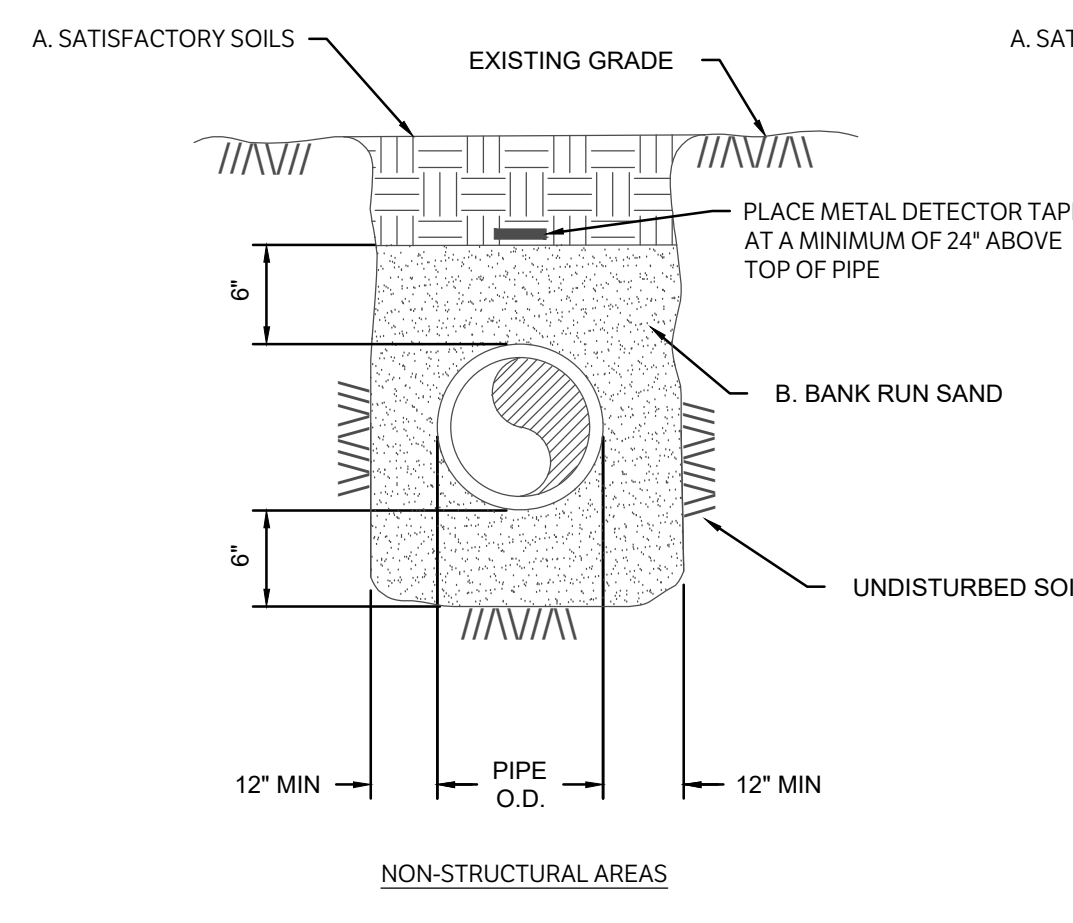
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PROJECT #: 21-1472

REVISIONS

REV.	DATE	DESCRIPTION

**C1403**



- A. SATISFACTORY SOILS**  
MATERIAL EXCAVATED FROM THE DITCH, (WHICH IS FREE OF ROCKS, LUMPS, CLODS, OR DEBRIS LARGER THAN TWO (2) INCHES IN THE LARGEST DIMENSION), COMPACTED TO A MINIMUM OF 95% OF MAXIMUM DENSITY AS DETERMINED BY ASTM D698 (STANDARD) AT MOISTURE CONTENT WITHIN OPTIMUM TO 2% OF OPTIMUM UNDER NON-STRUCTURAL AREAS (IE...YARDS, PASTURES, EASEMENTS) AND TO A MINIMUM OF 98% OF MAXIMUM DENSITY AS DETERMINED BY ASTM D698 (STANDARD) AT A MOISTURE CONTENT WITHIN OPTIMUM TO 2% OF OPTIMUM UNDER NEW STREET AND PAVEMENT AREAS.
- B. BANK RUN SAND**  
GRANULAR MATERIAL FREE OF DETRIMENTAL QUANTITIES OF CLAY, DEBRIS, OR ORGANIC MATERIAL. REFERENCE SPECIFICATION FOR REQUIREMENTS.
- C. CEMENT STABILIZED SAND**  
MATERIALS SHALL BE TYPE I PORTLAND CEMENT CONFORMING TO ASTM C150 AND CLEAN DURABLE SAND MEETING GRADING REQUIREMENTS FOR FINE AGGREGATES OF ASTM C33. THE CEMENT STABILIZED SAND SHALL HAVE A MINIMUM OF 10% CEMENT PER CUBIC YARD OF CEMENT STABILIZED SAND MIXTURE, BASED ON LOOSE DRY WEIGHT VOLUME (AT LEAST 2.5 SACKS OF CEMENT PER CUBIC YARD OF MIXTURE). COMPACT MIX TO 95% OF ASTM D558 WITH A MOISTURE CONTENT BETWEEN .2% TO 2% ABOVE OPTIMUM.
- D. PAVEMENT SUBGRADE**  
REFERENCE PAVEMENT SECTION DETAIL AND SPECIFICATION FOR MATERIALS AND DEPTHS.

**GENERAL NOTES:**  
ALL AREAS WHERE EXISTING VEGETATION AND GRASS COVER HAVE BEEN BARED BY CONSTRUCTION SHALL BE ADEQUATELY BLOCK SODDED OR HYDROMULCHED AND WATERED UNTIL GROWTH IS ESTABLISHED. IN DEVELOPED AREAS WHERE GRASS IS PRESENT, BLOCK SOD WILL BE REQUIRED. BARED AREAS SHALL BE SEEDED OR SODDED WITHIN 14 CALENDAR DAYS OF LAST DISTURBANCE.

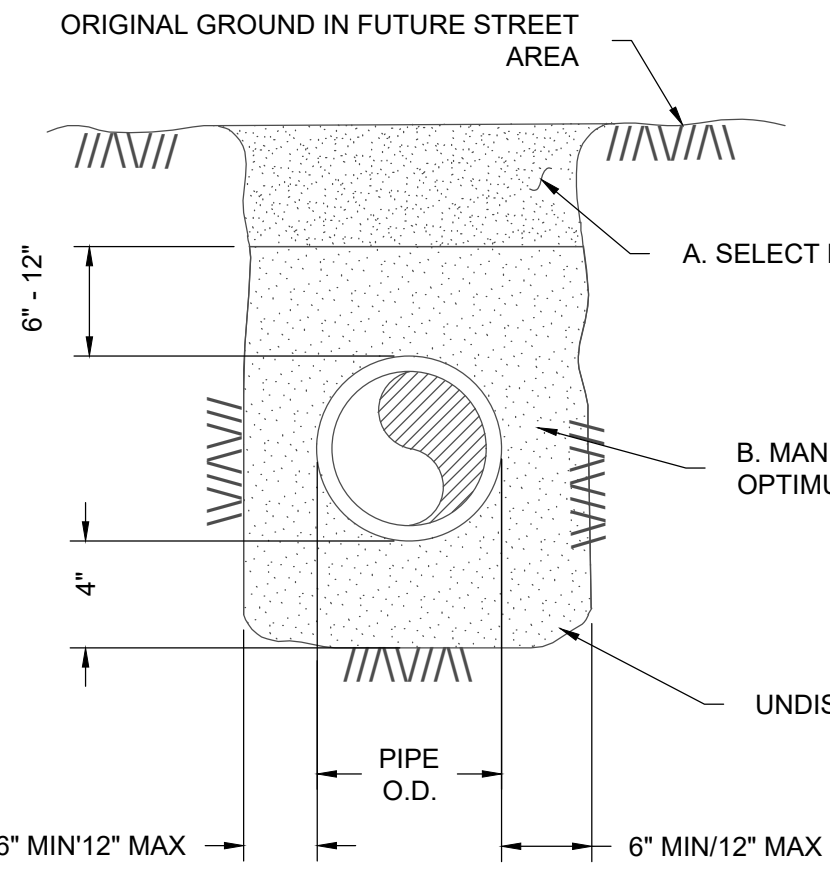
APPROVED EROSION CONTROL MEASURES MUST BE INSTALLED DURING THE ENTIRE TIME THAT EARTH HAS BEEN BARED BY CONSTRUCTION AND SHALL STAY IN PLACE UNTIL ACCEPTABLE VEGETATIVE GROWTH IS ESTABLISHED AFTER CONSTRUCTION IS COMPLETE AND THEN REMOVED BY CONTRACTOR.

ALL EROSION CONTROL MEASURES SHOULD BE CLEANED OF SILT AFTER EVERY RAIN.

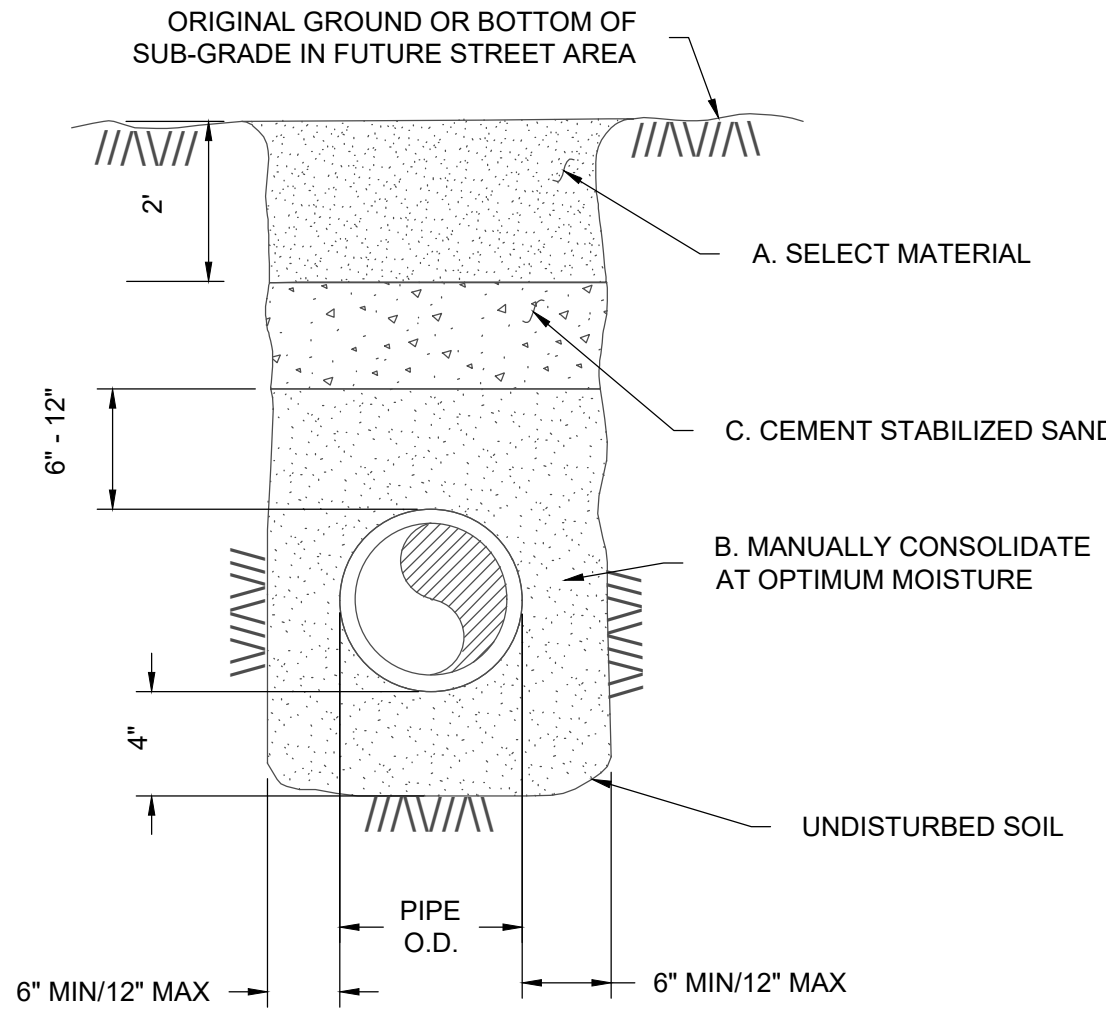
ESTABLISHMENT OF VEGETATION MAY BE A WARRANTY ITEM

- NOTES:**
- FOR BEDDING AND TRENCHING WITHIN ALL PAVED AREAS SEE DETAILS FOR OPEN CUT STREETS.
  - ALL BEDDING & INSTALLATION OF HDPE PIPE SHALL BE IN ACCORDANCE WITH ANSIIAWWA STANDARDS FOR HDPE PIPE
  - COMPACTION SHALL BE ATTAINED BY MECHANICAL TAMPING
  - RELATIVE COMPACTION SHALL BE TESTING IN THE PRESENCE OF THE ENGINEER
  - DUST RESULTING FROM THE CONTRACTOR'S PERFORMANCE OF THE WORK, EITHER INSIDE OR OUTSIDE THE RIGHT-OF-WAY, SHALL BE CONTROLLED BY THE CONTRACTOR
  - ALL TRENCHES SHALL BE BACK FILLED AND TEMPORARY PAVING OR PLATING PLACED AT THE END OF EACH WORKING DAY IN AREAS TO BE PAVED. PROTECT ALL OPEN TRENCHES AT THE END OF EACH WORKING DAY.
  - HDPE LINES WITH WELDED JOINTS MAY BE BACKFILLED PRIOR TO TESTING AT CONTRACTOR'S RISK.
  - INSTALL 6" OF CEMENT STABILIZED SAND BEDDING UNDER HDPE SANITARY SEWER PIPE.

**BEDDING AND TRENCH FOR HDPE PIPE**  
NTS



OPTION NO. 1



OPTION NO. 2

- A. SELECT MATERIAL**  
MATERIAL EXCAVATED FROM THE DITCH, (WHICH IS FREE OF ROCKS, LUMPS, CLODS, OR DEBRIS LARGER THAN TWO (2) INCHES IN THE LARGEST DIMENSION), COMPACTED TO A MINIMUM OF 90% OF MAXIMUM DENSITY AS DETERMINED BY ASTM D698 (STANDARD) AT MOISTURE CONTENT WITHIN OPTIMUM TO +4% OF OPTIMUM UNDER NON-STRUCTURAL AREAS (IE...YARDS, PASTURES, EASEMENTS) AND TO A MINIMUM OF 98% OF MAXIMUM DENSITY AS DETERMINED BY ASTM D698 (STANDARD) AT A MOISTURE CONTENT WITHIN OPTIMUM TO +4% OF OPTIMUM UNDER NEW STREET AND PAVEMENT AREAS.

- B. GRANULAR MATERIAL**  
MATERIAL SHALL BE BANK RUN RIVER SAND WITH IS FREE OF DETRIMENTAL QUANTITIES OF CLAY, DEBRIS, OR ORGANIC MATERIAL AND WHICH, WHEN TESTED BY STANDARD LABORATORY METHODS, MEET THE FOLLOWING REQUIREMENTS:
- |                                      |     |
|--------------------------------------|-----|
| MAXIMUM LIQUID LIMIT                 | 45  |
| MAXIMUM PLASTICITY INDEX             | 15  |
| MAXIMUM PERCENT PASSING NO 200 SIEVE | 35  |
| MINIMUM PERCENT PASSING 3/4" SIEVE   | 100 |
- THE MATERIAL SHALL BE FREE FLOWING AND WHEN WET, SHALL NOT ADHERE TO FORM A BALL WHEN PRESSED IN THE HAND.

- C. CEMENT STABILIZED SAND**

**GENERAL NOTES:**  
ALL AREAS WHERE EXISTING VEGETATION AND GRASS COVER HAVE BEEN BARED BY CONSTRUCTION SHALL BE ADEQUATELY BLOCK SODDED OR HYDROMULCHED AND WATERED UNTIL GROWTH IS ESTABLISHED. IN DEVELOPED AREAS WHERE GRASS IS PRESENT, BLOCK SOD WILL BE REQUIRED. BARED AREAS SHALL BE SEEDED OR SODDED WITHIN 14 CALENDAR DAYS OF LAST DISTURBANCE.

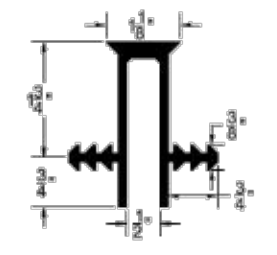
APPROVED EROSION CONTROL MEASURES MUST BE INSTALLED DURING THE ENTIRE TIME THAT EARTH HAS BEEN BARED BY CONSTRUCTION AND SHALL STAY IN PLACE UNTIL ACCEPTABLE VEGETATIVE GROWTH IS ESTABLISHED AFTER CONSTRUCTION IS COMPLETE AND THEN REMOVED BY CONTRACTOR.

ALL EROSION CONTROL MEASURES SHOULD BE CLEANED OF SILT AFTER EVERY RAIN.

ESTABLISHMENT OF VEGETATION MAY BE A WARRANTY ITEM

- NOTES:**
- FOR BEDDING AND TRENCHING WITHIN ALL PAVED AREAS SEE DETAILS FOR OPEN CUT STREETS.
  - ALL BEDDING & INSTALLATION OF PVC PIPE SHALL BE IN ACCORDANCE WITH ANSIIAWWA STANDARDS FOR PVC PIPE
  - ALL BEDDING & INSTALLATION OF DUCTILE IRON PIPE SHALL BE IN ACCORDANCE WITH ANSIIAWWA C150/A21.50
  - COMPACTION SHALL BE ATTAINED BY MECHANICAL TAMPING
  - RELATIVE COMPACTION SHALL BE TESTING IN THE PRESENCE OF THE CITY ENGINEER
  - DUST RESULTING FROM THE CONTRACTOR'S PERFORMANCE OF THE WORK, EITHER INSIDE OR OUTSIDE THE RIGHT-OF-WAY, SHALL BE CONTROLLED BY THE CONTRACTOR
  - ALL TRENCHES SHALL BE BACK FILLED AND TEMPORARY PAVING OR PLATING PLACED AT THE END OF EACH WORKING DAY
  - SEE "OPEN CUT DETAILS" S14-01 & S14-02
  - EVERY 100 FEET PROVIDE A WATER STOP BLOCK COMPOSED OF CEMENT SAND OR NATIVE MATERIAL DEPENDING ON EMBEDMENT. BLOCK SHALL BE 6 FEET IN LENGTH. NO BEDDING SAND IN THIS AREA

**BEDDING AND TRENCH FOR DI PIPE & PVC PIPE WITH NON-STRUCTURAL OR NEW PAVED AREAS**  
NTS



**NOTE:**  
WATERSTOP SHALL BE G-SEAL BY GREENSTREAK, INC. EARTHSHIELD BY JP SPECIALTIES, INC. EB-CAP WATERSTOP BY WESTEC, OR APPROVED EQUAL

**EXPANSION JOINT WATER STOP CAP (2 SIDED)**  
NTS

CAUTION: CONTACT TEXAS 811 AND LOCAL UTILITY PROVIDERS TO LOCATE EXISTING UTILITIES PRIOR TO CONSTRUCTION.  
CONTACT GESSNER ENGINEERING IF CONFLICTS OCCUR.



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CORPORATE OFFICE  
401 W 26TH STREET  
BRYAN, TEXAS 77803  
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RETAIL CENTER  
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DETAILS

ISSUE DATE: 02-08-2023  
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C1401

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**LANDSCAPE CALCULATIONS:**

- 1) 17% OF DEVELOPED AREA 1.41 ACRES (61,504 SQ FT) = 10,456 SF LANDSCAPING
- 2) NOT LESS THAN 50% OF REQUIRED AREA SHALL BE TREES; 5,228 SF REQ'D; 7,850 PROVIDED
- 3) NOT LESS THAN 50% OF TREE PLANTED SHALL BE CANOPY; 2,614 SF REQ'D; 7,250 PROVIDED
- 4) ALL PARKING ISLANDS MUST HAVE A CANOPY TREE. (1 ISLAND W UTILITY CONFLICT)

TOTAL AREA REQUIRED: 10,456 SF  
 LANDSCAPED AREA PROVIDED: 10,568 SF

\*\* AUTOMATIC IRRIGATION IS REQUIRED FOR THIS PROJECT\*\*

**LANDSCAPE NOTES:**

1. COMPLETE ALL LANDSCAPE PLANTING AND RELATED EARTHWORK INCLUDING ALL PRODUCTS, EQUIPMENT AND LABOR, FOR THE LANDSCAPE AREAS SHOWN ON THE DRAWING AND DESCRIBED IN THE SPECIFICATIONS.
2. ALL QUESTIONS SHOULD BE REFERRED TO THE PROJECT LANDSCAPE ARCHITECT.
3. INFORMATION PROVIDED ON THIS PLAN IS GENERAL IN NATURE. DIMENSIONS, LOCATIONS, AND AREAS ARE APPROXIMATE AND SHOULD BE FIELD VERIFIED PRIOR TO BIDDING & INSTALLATION.
4. QUANTITIES SHOWN FOR PLANT MATERIALS ARE APPROXIMATE. ACTUAL INSTALLED QUANTITIES OF PLANT MATERIALS MAY VARY FROM THE PLAN AND SHOULD BE FIELD DETERMINED ACCORDING TO THE GIVEN SPACING AND FIELD CONDITIONS. DISCREPANCIES BETWEEN FIELD CONDITIONS AND THE PLAN WHICH LIMIT THE CONTRACTOR SHOULD BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
5. BY BIDDING, THE CONTRACTOR ACKNOWLEDGES THAT HE/SHE HAS SATISFIED HIMSELF/HERSELF AS TO THE NATURE AND LOCATION OF THE WORK AND TO THE QUALITY OF SURFACE AND SUBSURFACE MATERIALS OR OBSTACLES INSOFAR AS THIS DATA IS REASONABLY ASCERTAINABLE FROM AN INSPECTION OF THE SITE. ANY FAILURE BY THE CONTRACTOR TO ACQUAINT HIMSELF/ HERSELF WITH THE AVAILABLE INFORMATION WILL NOT RELIEVE HIM/HER FROM RESPONSIBILITY FOR ESTIMATING PROPERLY THE DIFFICULTY OR COST OF SUCCESSFULLY PERFORMING THE WORK AS DESCRIBED.
6. INSTALLATION OF ALL LANDSCAPING MUST BE COORDINATED WITH THE INSTALLATION OF RELATED IRRIGATION, SITE WORK, AND GRADING.
7. UNLESS SPECIFICALLY NOTED, INSTALL ALL MASED PLANTING UTILIZING EQUILATERAL TRIANGULAR SPACING.
8. EVENLY APPLY 3" OF MULCH TO ALL CONTINUOUS PLANTING BEDS. MULCH TO BE TRANSPORTED AND INSTALLED BY THE CONTRACTOR. CONTRACTOR TO ENSURE ALL SUBSURFACE IRRIGATION IS COMPLETELY COVERED BY MULCH.
9. SUBSTITUTIONS OF PLANT SPECIES, SIZES, OR OTHER SPECIFIED MATERIALS WILL NOT BE ALLOWED WITHOUT PRIOR APPROVAL BY THE PROJECT LANDSCAPE ARCHITECT.
10. PLANT MATERIAL AND LAYOUT MUST BE APPROVED BY THE PROJECT LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
11. ALL IDENTIFICATION TAGS PROVIDED BY GROWERS AND PLACED ON TREES AND SHRUBS ARE TO REMAIN ON THE PLANTS THROUGH THE PUNCH-LIST INSPECTION. TAGS ARE TO BE REMOVED PRIOR TO FINAL ACCEPTANCE, OR UPON REQUEST OF THE PROJECT LANDSCAPE ARCHITECT.
12. SEED MIX/SOLID SOD WILL BE APPLIED TO ALL CONSTRUCTION-DAMAGED GROUND SURFACES NOT OTHERWISE PLANTED. CONTRACTOR SHALL REVIEW RELATED CONSTRUCTION DRAWINGS FOR LIMITS OF CONSTRUCTION AND SHALL ALSO BE RESPONSIBLE FOR COORDINATING WITH OTHER SITE CONTRACTORS TO DETERMINE ACTUAL AREAS OF SEEDING REQUIRED, INCLUDING AREAS DISTURBED BY UTILITY EXTENSIONS.
13. THE LANDSCAPE CONTRACTOR SHALL EXCAVATE FULLY PREPARED PLANT BEDS AS REQUIRED TO ACCOMMODATE A FULL 8" OF PREPARED SOIL AND 3" MULCH LAYER. CLEAN, NATIVE TOPSOIL REMOVED FROM THESE BEDS MAY BE SPREAD ON NEARBY AREAS TO BE SODDED OR SEEDED. STONES LARGER THAN 1" DIAMETER SHALL BE REMOVED AND DISPOSED OF OFF SITE. FOLLOWING EXCAVATION, PLACE PREPARED SOIL IN THESE PLANT BEDS. PREPARED SOIL SHALL CONSIST OF 5" IMPORTED "CHOCOLATE" LOAM TOPSOIL AND 3" ORGANIC COMPOST SOIL CONDITIONER (SUCH AS "LIVING EARTH TECHNOLOGIES", "BACK-TO-EARTH" OR OTHER APPROVED MANUFACTURER), THOROUGHLY BLENDED TOGETHER TO 20% MINIMUM ORGANIC CONTENT. THIS MIX SHALL ALSO BE USED TO BACKFILL PLANTING PITS OF ALL TREES. **CONTRACTOR SHALL SUBMIT PLANTING SOIL MATERIAL TO THE LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO PURCHASE.**
14. ALL PLANTING BEDS INDICATED WILL BE IRRIGATED WITH UNDERGROUND AUTOMATIC IRRIGATION. IRRIGATION CONTRACTOR IS TO BE A STATE OF TEXAS LICENSED IRRIGATOR, AND SHALL FOLLOW ALL TCEQ CODES AND REGULATIONS. CONTRACTOR IS RESPONSIBLE FOR PROVIDING AS-BUILT DRAWINGS AND SPECIFICATIONS FOR IRRIGATION SYSTEM INCLUDING PIPE SIZES AND LOCATIONS.
15. ALL SEEDING AREAS DISTURBED BY CONSTRUCTION SHALL BE TEMPORARILY IRRIGATED OR SPRINKLED IN A MANNER THAT WILL NOT ERODE THE TOPSOIL, BUT WILL SUFFICIENTLY SOAK THE SOIL TO A DEPTH OF SIX INCHES. THE IRRIGATION SHALL OCCUR AT TEN-DAY INTERVALS DURING THE FIRST TWO MONTHS. RAINFALL OCCURENCES OF 1/2 INCH OR MORE SHALL POSTPONE THE WATERING SCHEDULE FOR ONE WEEK. RESTORATION SHALL BE ACCEPTABLE WHEN THE GRASS HAS GROWN AT LEAST 1-1/2 INCHES HIGH WITH 95% COVERAGE, PROVIDED NO BARE SPOTS LARGER THAN 16 SQUARE FEET EXIST.
16. REGULAR MAINTENANCE IS REQUIRED OF ALL LANDSCAPE AREAS AND PLANT MATERIALS IN A VIGOROUS AND HEALTHY CONDITION, FREE FROM DISEASES, PEST WEEDS, AND LITTER. THIS MAINTENANCE SHALL INCLUDE WEEDING, WATERING, FERTILIZATION, PRUNING, MOWING, EDGING, MULCHING OR OTHER NEEDED MAINTENANCE, IN ACCORDANCE WITH GENERALLY ACCEPTED HORTICULTURAL PRACTICES UNTIL THE PROJECT HAS BEEN ACCEPTED BY THE PROJECT LANDSCAPE ARCHITECT.
17. THE OWNERS OF THE LANDSCAPED PROPERTY, OR THE MANAGER OR AGENT OF THE OWNER, SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL LANDSCAPE AREAS. SAID AREAS SHALL BE MAINTAINED SO AS TO PRESENT A HEALTHY, NEAT AND ORDERLY APPERARANCE AT ALL TIMES AND SHALL BE KEPT FREE OF REFUSE AND DEBRIS. ALL PLANTING BEDS SHALL BE PROVIDED WITH A READILY AVAILABLE WATER SUPPLY AND WATERED AS NECESSARY TO ENSURE CONTINUOUS HEALTHY GROWTH AND DEVELOPMENT. MAINTENANCE SHALL INCLUDE THE REPLACEMENT OF ALL DEAD PLANT MATERIAL IF THAT MATERIAL WAS USED TO MEET THE REQUIREMENTS OF THE ORDINANCE.
18. NO TOPSOIL SHALL BE PLACED UNTIL SUBGRADE IS APPROVED BY LANDSCAPE ARCHITECT. CONTRACTOR TO FURNISH AND SPREAD TOPSOIL ON LAWN AREAS TO A DEPTH OF FOUR INCHES. WORK TOPSOIL TO A SMOOTH UNIFORM SURFACE AND COMPACT FIRMLY. FEATHER TOPSOIL INTO UNDISTURBED AREAS CREATING A SMOOTH, EVEN TRANSITION. SPREAD ADDITIONAL TOPSOIL IN UNDISTURBED AREAS TO ELIMINATE WATER PONDING. STONES LARGER THAN 1" DIAMETER SHALL BE REMOVED FROM TURF AREAS AND DISPOSED OF OFF SITE.
19. NO CUTTING, FILLING, TRENCHING, ROOT DISTURBANCE, SOIL DISTURBANCE, OR CONSTRUCTION IMPACTS SHALL OCCUR TO THE TRUNK WITHIN THE CRITICAL ROOT ZONE UNLESS DONE BY HAND.
20. FROM APRIL 1 TO SEPTEMBER 30, ONLY CONTAINER GROWN TREES MAY BE PLANTED. FROM OCTOBER 1 TO MARCH 31, EITHER CONTAINER GROWN OR BALL AND BURLAPPED TREES MAY BE PLANTED.

**LANDSCAPE MAINTENANCE NOTES:**

PROPERTY LANDSCAPING SHALL BE MAINTAINED AT ALL TIMES. THE QUALITY OF THE LANDSCAPE MAINTENANCE SHALL MEET STANDARDS OF PERFORMANCE PROVIDED BY LANDSCAPE COMPANIES IN THE REGION. LANDSCAPE AREAS WILL AT ALL TIMES HAVE A NEAT, CLEAN, HEALTHY, MANICURED APPEARANCE.

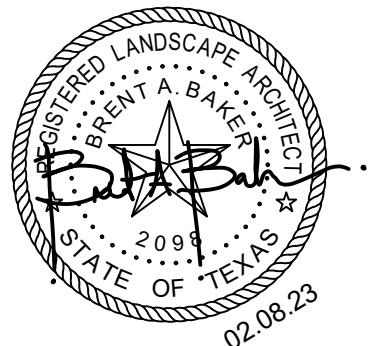
1. TURF AREAS
  - A. MOWING & EDGING OF ALL TURF AREAS SHALL BE PERFORMED AT LEAST ONCE PER WEEK.
  - B. PERENNIAL GRASS OVERSEEDING SHALL BE SEPARATE & MUST BE APPROVED BY THE OWNER PRIOR TO START. OVERSEEDING SHALL BE SPREAD AT A RATE TO INSURE A LUSH, THICK CONSISTENT WINTER TURF. TRIMMING & EDGING OF TURF AREAS TO BE PERFORMED EACH VISIT.
  - C. ALL TURF AREAS ARE TO BE FERTILIZED A MINIMUM OF FOUR TIMES PER YEAR W/ A HIGH QUALITY, SLOW RELEASE FERTILIZER FROM A REPUTABLE MANUFACTURER.
  - D. CONTRACTOR SHALL APPLY APPROPRIATE FUNGICIDES AS NECESSARY & PRE-EMERGENT HERBICIDE TWO TIMES PER YEAR & POST-EMERGENT HERBICIDE AT THE TIME DEEMED MOST EFFICIENT & FAVORABLE BY CONTRACTOR.
  - E. TURF TO BE TREATED AS NECESSARY W/ APPROPRIATE INSECTICIDE TO CONTROL SOIL PESTS.
  - F. RAKING TO BE PERFORMED AS NEEEDED TO MAINTAIN APPEARANCE. DE-THATCH & AERATE TURF ONCE DURING THE YEAR IN CONJUNCTION W/ RYE OVERSEEDING. IF OWNER OPTS TO NOT PERFORM OVERSEED, DE-THATCHING & AERATING TO BE PERFORMED IN EARLY SPRING.
  - G. BAG ALL AREAS WITHIN 45 FEET OF BUILDINGS, DRIVEWAYS, & SIDEWALKS.
2. SHRUBS, GROUND COVER, BEDS & ANNUALS
  - A. TO BE MAINTAINED WEED FREE, AS NEEDED USING APPROPRIATE HERBICIDES & MANUAL WEEDING. USE A MINIMUM OF TWO PRE-EMERGENT APPLICATIONS & MANUALLY WEED EACH VISIT.
  - B. TO BE FERTILIZED FOUR TIMES PER YEAR W/ A BALANCED HIGH QUALITY, SLOW RELEASE FERTILIZER, APPROPRIATE TO THE SHRUBS ON THE PROJECT.
  - C. SHRUBBERY TO BE HAND TRIMMED AS SPECIFIED TO MAINTAIN A MANICURED APPEARANCE OR AS OTHERWISE REQUESTED BY OWNER. USE ONLY SKILLED PERSONNEL W/ SIGNIFICANT EXPERIENCE IN CLASS A PROPERTIES. NO SHEARING, ALL TO BE DONE W/ SELECTIVE HAND PRUNING TO KEEP PLANT WITHIN BOUNDS BUT TO MAINTAIN A NATURAL SHAPE & APPEARANCE.
  - D. TO BE INSPECTED WEEKLY BY QUALIFIED SUPERVISOR, FOLLOWED BY A WRITTEN REPORT OF PROBLEMS DISCOVERED & ACTIONS TO BE TAKEN.
  - E. AREAS TO BE SPRAYED W/ APPROPRIATE INSECTICIDES & FUNGICIDES, AS NECESSARY.
  - F. ANNUALS TO BE CHANGED OUT FOUR (4) TIMES PER YEAR USING FOUR (4) INCH POTS & FERTILIZED AT EACH CHANGE. MONITOR & APPLY FUNGICIDES & INSECTICIDES TO INSURE MAXIMUM VIGOR.
  - G. APPLY SHREDDED HARDWOOD MULCH TO A DEPTH OF TWO INCHES, A MINIMUM OF THREE TIMES ANNUALLY. IF MULCH DEPTH ACCUMULATION BECOMES SO EXCESSIVE AS TO BE DETRIMENTAL TO PLANT HEALTH, RAKE OUT & DISPOSE OF EXCESS QUANTITIES OF THE OLDEST MATERIAL, OFF-SITE.
  - H. ALL TRAFFIC & DIRECTIONAL SIGNAGE TO BE KEPT FREE & CLEAR FROM ALL BUSHES/SHRUBS, ETC.
  - I. A THREE-FOOT PERIMETER AROUND ALL FIRE HYDRANTS SHALL BE MAINTAINED
3. LANDSCAPE TREES (4" CALIPER OR LESS)
  - A. TO BE LIGHTLY PRUNED AS NECESSARY (AT LEAST ONCE A MONTH DURING GROWING SEASON).
  - B. TO BE PRUNED & SHAPED ONCE DURING WINTER MONTHS. PRUNE TO CLASS I STANDARDS. NOTIFY MANAGEMENT PRIOR TO & IMMEDIATELY FOLLOWING PRUNING ACTIVITY. PRUNING TO BE DONE BY QUALIFIED TREE CARE FIRM, SUBJECT TO MANAGEMENT APPROVAL.
  - C. DEEP ROOT FERTILIZE ALL LANDSCAPE TREES ONE TIME PER YEAR. SUBMIT INFORMATION ON MATERIALS, APPLICATION METHODS & APPLICATOR QUALIFICATION ONE WEEK PRIOR TO PERFORMING WORK TO OWNER'S REPRESENTATIVE.
  - D. ALL TRAFFIC & DIRECTIONAL SIGNAGE TO BE KEPT FREE OF TREE LIMBS & BRANCHES
4. LARGE TREES (GREATER THAN 4" CALIPER)
  - A. CONTRACTOR SHALL INSPECT FOR INSECT, DISEASE INFESTATIONS & TREE DAMAGE SUCH AS LIGHTNING OR VEHICULAR DAMAGE. CONTRACTOR SHALL NOTIFY MANAGEMENT IMMEDIATELY OF SUCH DANGER OR DISEASE SO THAT CORRECTIVE ACTION CAN BE TAKEN.
  - B. WHEN PRUNING IS REQUIRED TO REMOVE DEAD OR DAMAGED LIMBS, WORK IS TO BE DONE BY QUALIFIED TREE CARE FIRM. MANAGEMENT APPROVAL IS REQUIRED PRIOR TO PRUNING.
  - C. ANY FERTILIZING RECOMMENDED BY QUALIFIED TREE CARE FIRM IS SUBJECT TO APPROVAL.
  - D. ALL TRAFFIC & DIRECTIONAL SIGNAGE TO BE KEPT FREE OF TREE LIMBS & BRANCHES
5. DEBRIS & LITTER
  - A. NORMAL TRASH & LITTER WILL BE REMOVED FROM ALL LAWN & LANDSCAPED AREAS WEEKLY.
  - B. ALL DEBRIS RESULTING FROM ANY & ALL LANDSCAPE WORK SHALL BE CLEANED UP IMMEDIATELY.
6. PAVED AREAS
  - A. AT PARKING LOT PERIMETERS & PAVING JOINTS, WEEDS & GRASSES ARE TO BE CONTROLLED W/ CONTACT HERBICIDE SPRAYS & MANUAL WEEDING AS REQUIRED.
  - B. ALL DEBRIS RESULTING FROM ANY & ALL LANDSCAPE WORK SHALL BE CLEANED UP IMMEDIATELY.
7. IRRIGATION
  - A. CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING & OPERATING ALL IRRIGATION SYSTEMS AT THE PROPERTY EXCEPT AS MAY BE OTHERWISE NOTED.
  - B. IRRIGATION SYSTEMS MUST BE INSPECTED MONTHLY & A REPORT MUST BE SUBMITTED TO MANAGEMENT. MANAGEMENT MUST APPROVE REPAIRS GREATER THAN \$250.00.
  - C. CONTRACTOR WILL ENSURE THAT WATERING CYCLES ARE IN COMPLIANCE W/ ANY CITY GUIDELINES AS A RESULT OF WATER RATIONING OR WATER CONSERVATION. ANY FEES OR PENALTIES INCURRED BY VIOLATION OF ORDINANCES WILL BE BILLED TO CONTRACTOR.
  - D. ALL HEADS & NOZZLES BROKEN BY LANDSCAPE MAINTENANCE OPERATIONS WILL BE REPAIRED OR REPLACED AT CONTRACTOR EXPENSE. ALL NOZZLES WILL BE CLEANED MONTHLY IF NECESSARY, & ALL HEADS WILL BE ADJUSTED AS NEEDED.
8. GENERAL
  - A. CONTRACTOR SHALL PROVIDE ADEQUATE SUPERVISION TO ASSURE THAT ALL WORK WILL BE DONE IN ACCORDANCE W/ THIS AGREEMENT & GENERALLY ACCEPTED GOOD PRACTICE. A WEEKLY VISIT BY A QUALIFIED SUPERVISOR IS A MINIMUM REQUIREMENT. ADEQUATE TIME SHALL BE ALLOWED FOR A THOROUGH & COMPLETE EXAMINATION OF THE ENTIRE PROPERTY.
  - B. CONTRACTOR SHALL REPLACE AT CONTRACTOR'S EXPENSE ANY PLANT MATERIAL THAT DIES DUE TO DAMAGE BY LAWN MAINTENANCE, EQUIPMENT OR CONTRACTOR'S NEGLIGENCE.
  - C. ALL WORK SHALL BE PERFORMED BY CONTRACTOR'S EMPLOYEES; NO WORK SHALL BE PERFORMED BY SUBCONTRACTORS WITHOUT WRITTEN CONSENT OF MANAGEMENT.
  - D. EMPLOYEES TO WEAR UNIFORMS & PROVIDE NEAT APPEARANCE & PROFESSIONAL BEHAVIOR.
  - E. CREW MEMBERS WILL OBSERVE ALL OSHA REGULATIONS. ALL EQUIPMENT WILL BE PROPERLY MAINTAINED & KEPT IN A SAFE OPERATING CONDITION.
  - F. ALL DEBRIS RESULTING FROM ANY & ALL LANDSCAPE WORK SHALL BE IMMEDIATELY CLEANED UP & REMOVED FROM SITE. USE OF AN ON-SITE DUMPSTER IS PROHIBITED.
  - G. ADDITIONAL PROJECTS, LANDSCAPE UPGRADES, ETC. WILL BE NEGOTIATED AS NEEDED.
  - H. POTS OR SIDEWALK PLANTERS AT PROPERTY SHALL BE MAINTAINED IN ACCORDANCE W/ ALL SPECS NOTED ABOVE. IRRIGATION SHALL BE MAINTAINED OR HAND WATER AS NEEDED.

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**PLANT SCHEDULE**

TREES	QTY	COMMON / BOTANICAL NAME	CONT	CAL	DESCRIPTION	SF VALUE	TOTAL
	13	MONTEREY OAK QUERCUS POLYMORPHA 'MONTEREY'	65 GAL	3.5" CAL	10'-12" H, 6" CLEAR TRUNK	250 SF	3,250 SF
	6	SHUMARD RED OAK QUERCUS SHUMARDII	65 GAL	3.5" CAL	10'-12" HT X 5'-6" W, 6" TRUNK HT	250 SF	1,500 SF
	10	SOUTHERN LIVE OAK QUERCUS VIRGINIANA	65 GAL	3.5" CAL	10'-12" H X 5'-6" W	250 SF	2,500 SF
ORNAMENTAL TREES	QTY	COMMON / BOTANICAL NAME	CONT	CAL	DESCRIPTION		
	6	TEXAS MOUNTAIN LAUREL DERMATOPHYLLUM SECUNDFLORUM	15 GAL	2" CAL	8'-10" H, MULTI-TRUNK	100 SF	600 SF
SHRUBS	QTY	COMMON / BOTANICAL NAME	SIZE	DESCRIPTION	SPACING		
	45	KNOCKOUT ROSE ROSA X 'KNOCKOUT' TM	3 GAL	PER TNLA STANDARDS & SPECS	AS SHOWN	10 SF	450 SF
	16	TWISTLEAF YUCCA YUCCA RUPICOLA	3 GAL	PER TNLA STANDARDS & SPECS	AS SHOWN	10 SF	160 SF
GRASSES	QTY	COMMON / BOTANICAL NAME	SIZE	DESCRIPTION	SPACING		
	54	LINDHEIMER'S MUHLY MUHLENBERGIA LINDHEIMERI	3 GAL	PER TNLA STANDARDS & SPECS	AS SHOWN	10 SF	540 SF
GROUND COVERS	QTY	COMMON / BOTANICAL NAME	CONT	DESCRIPTION			
	29,712 SF 15% MAX	BERMUDA GRASS CYNODON DACTYLON	HYDROSEED	PER TNLA STANDARDS & SPECS	ALL DISTURBED AREAS WITHIN LOC	100	1,568 SF
	394 SF	SILVER PONYFOOT DICHONDRA ARGENTEA	1 GAL	PER TNLA STANDARDS & SPECS	24" O.C.		



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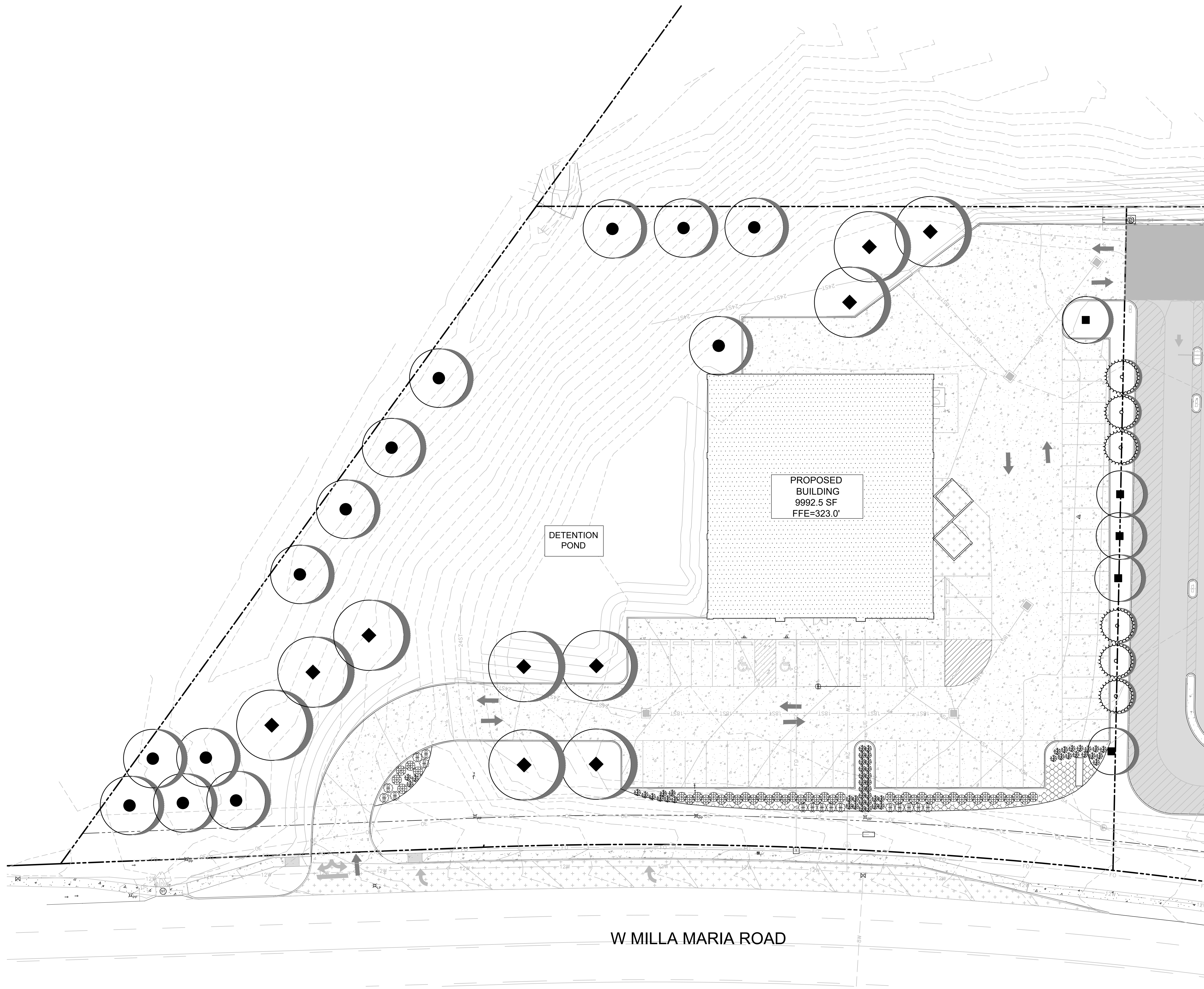
**DOLLAR TREE**  
 1612 WEST MILLA MARIA RD.  
 BRYAN, TEXAS 77807

**sheet information ::**

project #: 21.786  
 date :: 02.08.2023  
 designed :: bs  
 drawn :: bs  
 checked :: bab  
 approved :: bab

**LA0.00**

LANDSCAPE NOTES/  
 SCHEDULE/  
 CALCULATIONS



PLANT SCHEDULE		
TREES	QTY	COMMON / BOTANICAL NAME
	13	MONTEREY OAK QUERCUS POLYMORPHA 'MONTEREY'
	6	SHUMARD RED OAK QUERCUS SHUMARDII
	10	SOUTHERN LIVE OAK QUERCUS VIRGINIANA
ORNAMENTAL TREES	QTY	COMMON / BOTANICAL NAME
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GROUND COVERS	QTY	COMMON / BOTANICAL NAME
ALL DISTURBED AREAS WITHIN LOC	29,712 SF 15% MAX	BERMUDA GRASS CYNODON DACTYLON
	394 SF	SILVER PONYFOOT DICHONDRA ARGENTEA

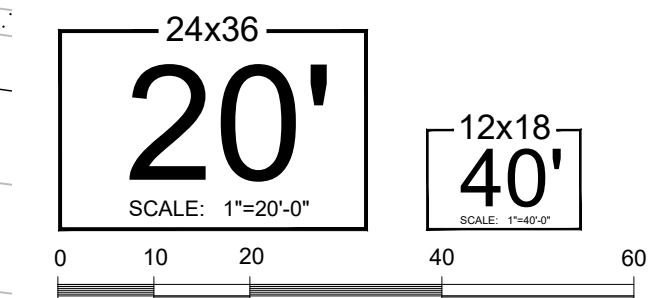
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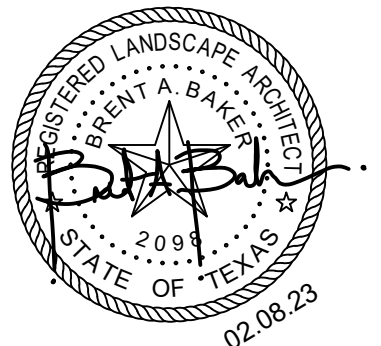


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**LA1.00**  
 LANDSCAPE  
 PLAN

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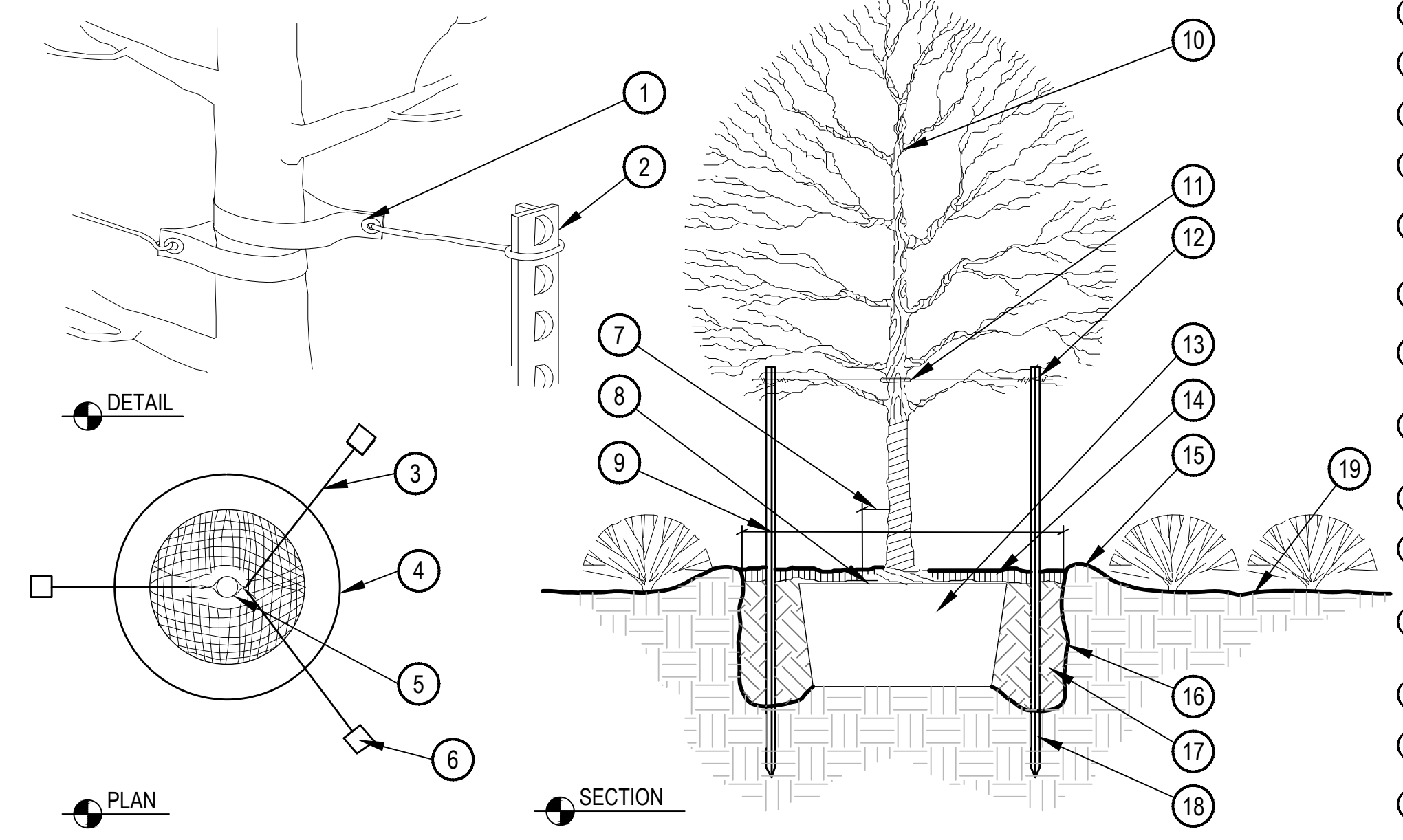
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**DOLLAR TREE**

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LANDSCAPE  
DETAILS

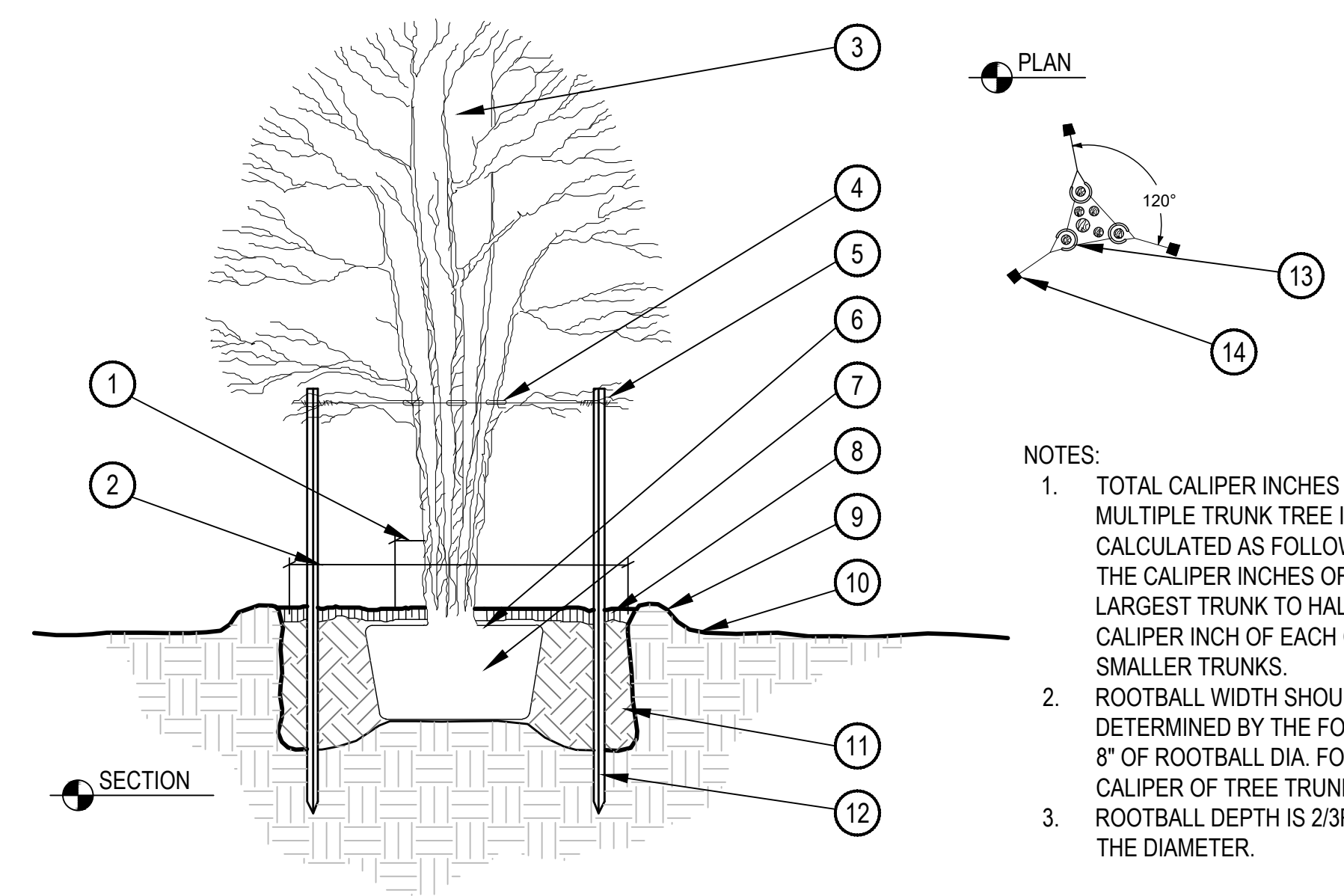
- NOTES:
1. ROOTBALL SIZE SHALL CONFORM TO THE 1995 AMERICAN ASSOCIATION OF NURSERYMEN STANDARDS UNLESS OTHERWISE NOTED.
  2. USE THREE STAKES ON ALL TREES.
  3. APPROVED TIE SYSTEM SHALL BE LOCATED ABOVE THE BOTTOM BRANCH.



- 1 APPROVED TREE TIE SYSTEM (SEE NOTES)
- 2 STEEL STUDDED FENCE POST-STUDS MUST FACE AWAY FROM TREE
- 3 APPROVED TREE TIE SYSTEM (SEE NOTES)
- 4 EDGE OF TREE PIT
- 5 TREE TRUNK
- 6 STUDDED STEEL FENCE POST
- 7 CONTRACTOR TO LEAVE 6" MIN. ROOT FLAIR UNCOVERED BY MULCH, SOIL, AND PLANTING MIX
- 8 PLACE TOP OF ROOT CROWN 2" ABOVE FINISH GRADE
- 9 EXCAVATE HOLE 2X ROOT BALL DIAMETER
- 10 NEVER CUT LEADER-THIN UP TO 1/3 OF BRANCHES RETAINING NATURAL SHAPE OF TREE - DO NOT LEAVE STUBS
- 11 APPROVED TIE SYSTEM ABOVE THE FIRST BRANCH
- 12 STAKE ALL TREES USING METAL STAKES-3 PER TREE
- 13 DO NOT BREAK ROOT BALL. IF ROOT BALL IS BROKEN PLANT WILL BE REJECTED. REMOVE BURLAP FROM TOP OF ROOT BALL
- 14 3" MULCH LAYER AS SPECIFIED
- 15 4" HT. SAUCER AROUND PLANTING PIT
- 16 ROUGHEN SURFACE TO IMPROVE ROOT PENETRATION
- 17 50% EXCAVATED SOIL AND 50% PLANTING SOIL MIX
- 18 MIN. 3 STAKES PER TREE PAINTED BLACK STEEL STAKE 3 LARGEST STEMS ON TREE
- 19 FINISH GRADE

**1 SINGLE TRUNK TREE PLANTING AND STAKING**

SCALE: NTS

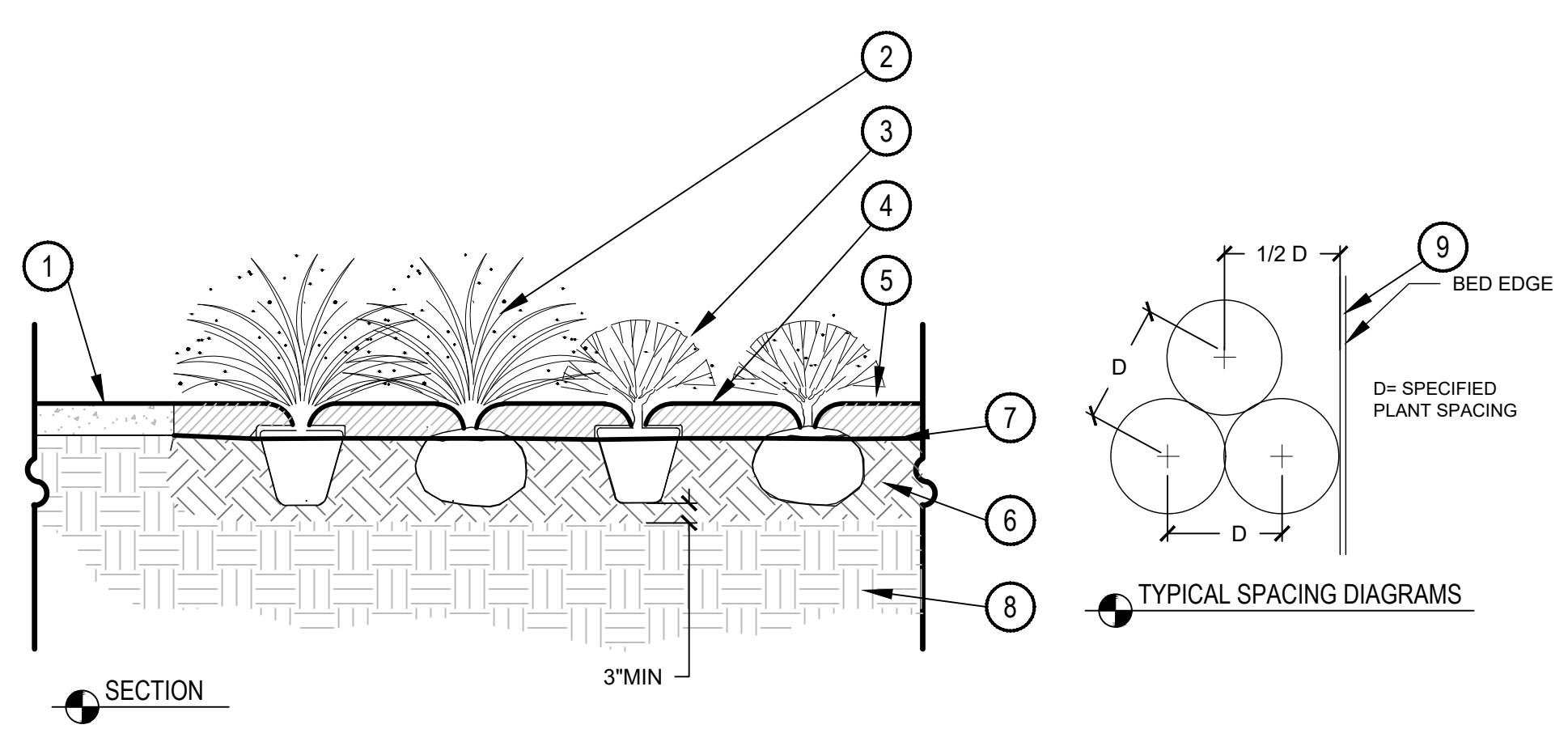


- NOTES:
1. TOTAL CALIPER INCHES OF A MULTIPLE TRUNK TREE IS CALCULATED AS FOLLOWS: ADD THE CALIPER INCHES OF THE LARGEST TRUNK TO HALF OF THE CALIPER INCH OF EACH OF THE SMALLER TRUNKS.
  2. ROOTBALL WIDTH SHOULD BE DETERMINED BY THE FOLLOWING: 8" OF ROOTBALL DIA. FOR EACH 1" CALIPER OF TREE TRUNK.
  3. ROOTBALL DEPTH IS 2/3RDS OF THE DIAMETER.

- 1 CONTRACTOR TO LEAVE 6" MIN. ROOT FLAIR UNCOVERED BY MULCH, SOIL, AND PLANTING MIX
- 2 EXCAVATE HOLE 2X ROOT BALL DIAMETER
- 3 NEVER CUT LEADER - THIN UP TO 1/3 OF BRANCHES RETAINING NATURAL SHAPE OF TREE - DO NOT LEAVE STUBS
- 4 ATTACH GUY WIRE & HOSE ABOVE FIRST BRANCH.
- 5 STAKE ALL TREES USING METAL STAKES-3 PER TREE
- 6 PLACE TOP OF ROOT CROWN 2" ABOVE FINISH GRADE
- 7 DO NOT BREAK ROOT BALL. IF ROOT BALL IS BROKEN PLANT WILL BE REJECTED. REMOVE BURLAP FROM TOP OF ROOT BALL
- 8 3" MULCH LAYER AS SPECIFIED
- 9 4" HT. SAUCER AROUND PLANTING PIT
- 10 FINISH GRADE
- 11 50% EXCAVATED SOIL AND 50% PLANTING SOIL MIX
- 12 HEAVY DUTY, METAL STAKE TO BE MINIMUM 8'-0" LONG STAKE TO BE 18" BELOW PIT IN UNDISTURBED SUBGRADE
- 13 LACE HOSE GUARDS TOGETHER WITH SINGLE WIRE STAY
- 14 MIN. 3 STAKES PER TREE PAINTED BLACK STEEL STAKE 3 LARGEST STEMS ON TREE

**2 MULTI-STEM TREE PLANTING AND STAKING STANDARD**

SCALE: NTS



- 1 ADJACENT HARDSCAPE
- 2 GRASSES (AS SPECIFIED PER PLAN)
- 3 SHRUB (AS SPECIFIED PER PLAN)
- 4 3" MULCH AS SPECIFIED, SUBSURFACE IRRIGATION TO BE COMPLETELY COVERED BY MULCH
- 5 LEAVE NO ROOTS EXPOSED
- 6 8" DEPTH PLANTING SOIL MIX AS SPECIFIED THIS SHEET, NOTE #13
- 7 GEOTEXTILE FABRIC TO MEET TYPAR 3301 MIN. SPECIFICATIONS OR APPROVED EQUAL
- 8 UNDISTURBED SUBGRADE
- 9 BED EDGE

**3 SHRUB/ GRASS PLANTING**

SCALE: NTS

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